

St. Andrew's Church Condition Survey

St. Andrew's Church

1815A

Tongue

IV27 4XF

GRAS

with:

Morham & Brotchie Partnership

QS

GRAS

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1.0 Introduction

1.1 Background

Background

Groves-Raines Architects Studios Ltd. (GRAS) have been appointed for architectural and conservation consultancy services to carry out a condition survey of St. Andrew's Church.

The intention of this report is to describe the current condition of the building fabric, identify any issues, establish a priority rating for each issue and make recommendations on the methodology for maintenance and repair where required.

The report consists of the condition report prepared by GRAS and outline costs prepared by Morham & Brotchie Partnership. The format of this report has been developed in accordance with the guidance in BS 7913:2013 Guide to the Conservation of Historic Buildings. The format of the report will broadly follow the guidance in Annex B of BS 7913:2013 providing:

- an introduction
- a description of the building fabric and its condition with recommendations for repairs and other works, if appropriate
- the need for any targeted specialist investigation

BS 7913:2013 recommends that planned inspections and surveys of historic buildings are carried out at intervals of four or five years. Inspections and surveys provide a basis on which to monitor the condition of the building and help to programme essential work to maintain and manage it.

Items of work will be arranged into four urgency or priority categories:

- *Immediate - Work that should commence without delay for public safety or health and safety reasons, to prevent imminent damage or to arrest rapid deterioration. This can include immediate further investigation.*

- *Urgent - Work that should be carried out within weeks or months, and within 18 months at most. Failure to do so would be likely to result in significant further damage or deterioration and increased cost.*
- *Necessary - Work that should be carried out before the next inspection, for which there is time to plan, and which can be integrated with other work. This is work that is due in order to keep the historic building in a state of good repair and to maintain its value and usefulness. Most repair work falls within this category.*
- *Desirable - Work that is desirable, if not strictly necessary, but that might improve the functioning or performance of the historic building or enhance its architectural or aesthetic qualities. Alternatively, work that is not due, but is likely to become so before the next inspection and can sensibly be incorporated with other work. Much minor conservation work, such as the reinstatement of suitable windows, should fall within this category.*

1.0 Introduction

1.2 Methodology & Limitations

Methodology

BS 7913:2013 recommends that inspections are carried out in a logical sequence and the subsequent report establishes the following information:

- the general condition of all parts of the historic building, with comparison to the results of any earlier inspections
- the progress of repairs carried out since the previous inspection
- the need for further repairs and, where appropriate, other works or separated targeted specialist investigation and
- the urgency and importance of such works under four degrees of priority.

The preparation of the report will be based on the following methodology:

- GRAS will carry out desktop research to gather any relevant background information, including a review of the Building Inspection Report undertaken by HRI Munro in 2021.
- A Conservation Accredited Architect will undertake a site visit to inspect the building and carry out a photographic survey.
- GRAS will prepare a written inspection report based on the notes, photographs and background information that have been obtained. The report will include descriptions of the type, extent and urgency of the repairs required.
- The information will be issued to the Quantity Surveyor, Morham & Brotchie Partnership (M&B), who will prepare costs for the recommended works.
- The information from M&B will be incorporated into the final issue of the GRAS report.

Limitations

This document has been prepared as part of a Condition Survey report. Liability cannot be accepted for its use for any other reason and does not extend to future owners of the property users of the report.

The inspections have had access limitations, and there may be additional repairs required which are not included in this report. For example, it was not possible to carry out a full inspection of all voids, wall cavities and roof spaces. This schedule will serve as a template for other repairs where similar defects will be treated using the equivalent agreed methodology in this schedule. Recommendations are based upon GRAS' visual observations and additional information provided by the client during the inspection visits.

The costs included in this report are relevant to the issue date of the report. Costs have been included for guidance in budgeting but they are likely to increase over time.

2. Building Description

2.1 Background Information

Address	St. Andrew's Church, Tongue, Lairg, IV27 4XF
Coordinates	259086, 957041
Date	1680
Owner	Church of Scotland
Property Category	Church and Halls
Local Authority	Highland
Listing	Category A
Listing Number	LB18456
Inspection Date(s)	28.10.2025
Inspected By	Nicholas Groves-Raines MBE and Catriona Wright
Weather (Day of Survey)	Overcast with some showers

2. Building Description

2.2 Description

Location

The church is located to the East of the Kyle of Tongue and sheltered by trees to the North, East and across the graveyard to the South.

Plan

The church is a T-shape with a central core and wings to the North and South. The early church, dating from 1680, comprises an elongated central section which is oriented East-West. The pulpit was located in the East gable of the original core. The later additions to the church to the North and South, formed the valley rafters over the pulpit.

Doors & Windows

There is a pointed arched doorway on the South elevation and a simple entrance door on the West gable leading to the Laird's Loft. Each wing has an external door providing access, the part-glazed door on the North wing provides access to the present Parish Hall.

The church has small pointed arch windows as well as rectangular windows to the West and former East gables. The windows are zinc with diamond quarries and seized opening vents.

External Walls

The external walls are harled with natural stone surrounds to the door and window openings. The original lime harl has had a number of repairs, some of which appear to have been carried out using cement. The building was most recently repainted with Keim Paint leaving a patchy appearance across the external elevations.

Roof

The roofs are slated with West Highland slates and have cavetto skewputts, crowsteps and stone ridges. The West gable has a small turret with an open bell which was a later addition in the 19th century.

Interior

The walls and ceiling are lath and plaster with timber dado panelling. The church seats approximately 120 people with simple wooden pews and some box pews. A Laird's Loft was added during the rebuilding of the church in 17th century. The canopy of the loft has since been removed for safekeeping at the National Museum of Scotland.



View across the Kyle of Tongue to the East



South Elevation

2. Building Description

2.3 Site Development

Tongue

The village of Tongue is located in the western part of the former county of Sutherland. The name comes from the Old Norse word 'tunga' meaning 'a tongue of land' shaped like a spit or a tongue.

Donald Mackay, Lord Reay, rebuilt Tongue House in 1678 after the original house was burned down by Oliver Cromwell's troops in 1655 in retaliation to the Reay family support of the Royalist Cause in the Civil War. The Reay family converted from Catholicism to Protestantism at some point in the 16th century. Donald Mackay also built the road from the rebuilt Tongue House to St. Andrew's Church.

In 1726, the Parish of Tongue was separated from the Parish of Durness. In the years that followed, many people moved from the rest of Sutherland to the village of Tongue in the Highland Clearances between 1750 and 1860. The Reay estate was eventually passed to the Sutherland Estate in 1829.

Tongue Manse and Steading was built between 1841 and 1842 and the Tongue Hotel was built in 1854. These buildings can be seen on the First Ordnance Survey from 1874. The village continued to grow throughout the 19th and 20th centuries and a new bridge was built over the Kyle of Tongue in 1971.



First Ordnance Survey (1874)



Ordnance Survey (1962)

2. Building Description

2.4 Building History

St. Andrew's Church

St. Andrew's has been a place of worship for the people of Tongue for hundreds of years and is often referred to as 'The Church of the Mackays'. The church that stands today dates from 1680, however, it is likely that this site was a place of worship for the ancient Celts and the Roman Catholic Church. The site was known as St. Peter's Chapel (Teampull Pheader) with the adjacent land known as St. Peter's Field (Machar Pheader).

The church was rebuilt in 1680 by Donald Mackay, Lord Reay, following the family's conversion to Protestantism. The lintel over the Vestry is inscribed with the date '1680'. During the rebuilding of the church, a family loft was added on which was inscribed the initials 'DM' and the family motto "Manu Forti". The loft had a unique canopy which deteriorated with age and was removed to the National Museum of Antiquities, now the National Museum of Scotland, for safekeeping.

Further alteration was carried out in 1729, but the original part of the 1680 aisle was preserved with a vault built over the graves of the earlier members of the Mackay Chief's family. The church was remodelled to the current T-shape in 1730.

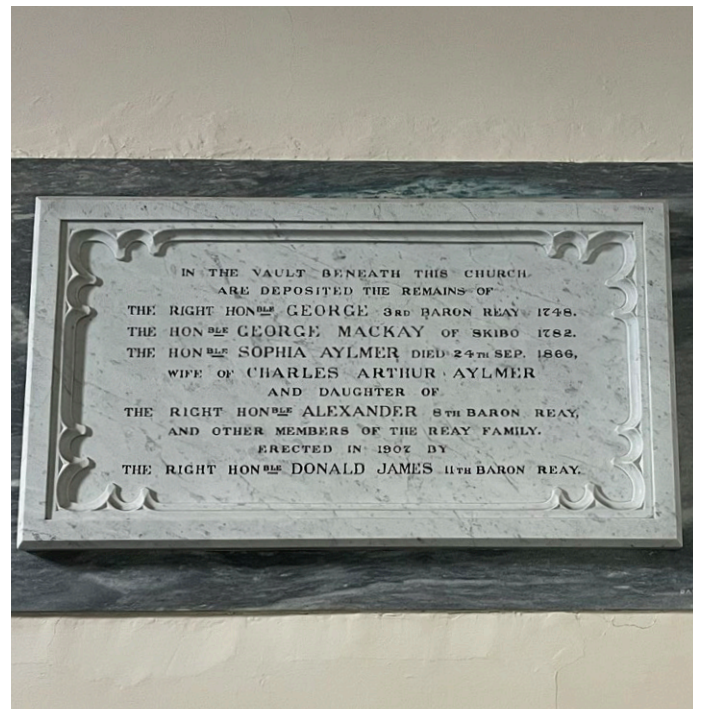
The bellcote was added in the 19th century and the church bell was most recently restored in 2014.

St. Andrew's is now a Parish Church of the Presbyterian Church of Scotland. As the burial place of the chiefs of Clan Mackay, the Reay family retain the right to be buried at St. Andrew's to this day.

It is undeniable that St. Andrew's has significant cultural, social and religious value for the local community.



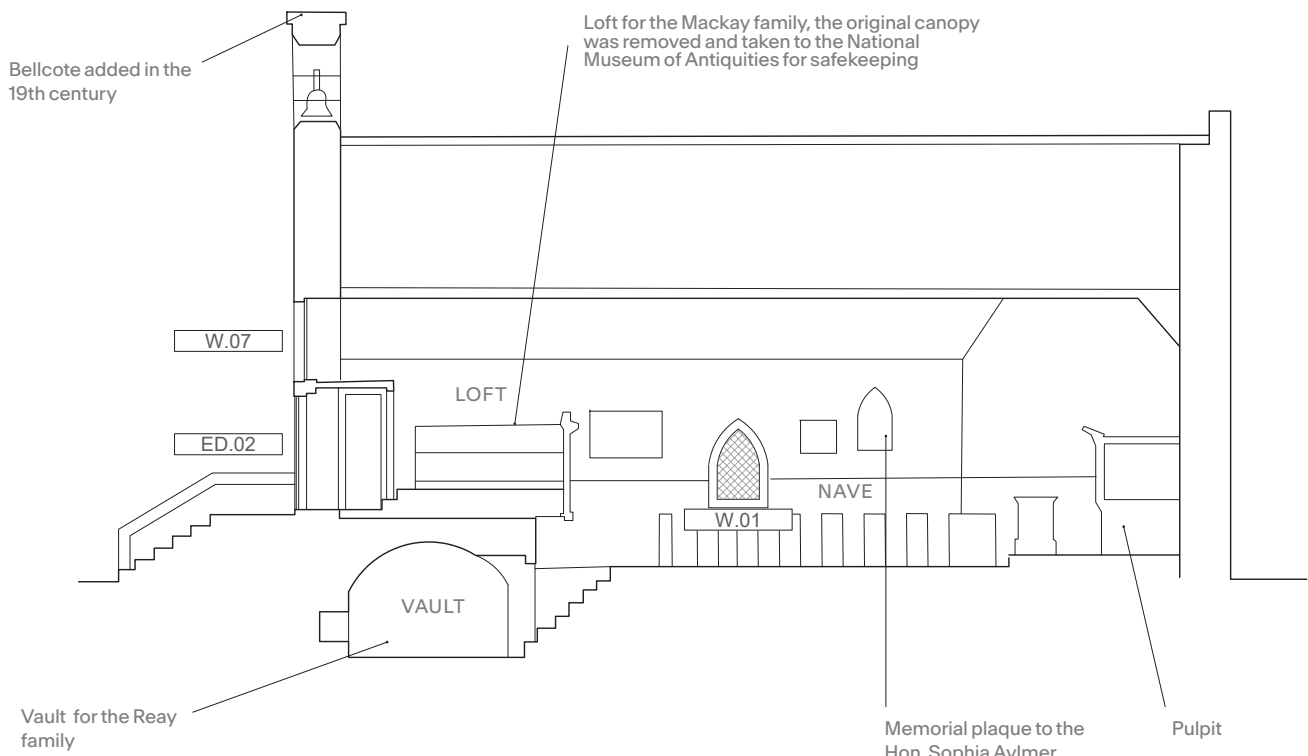
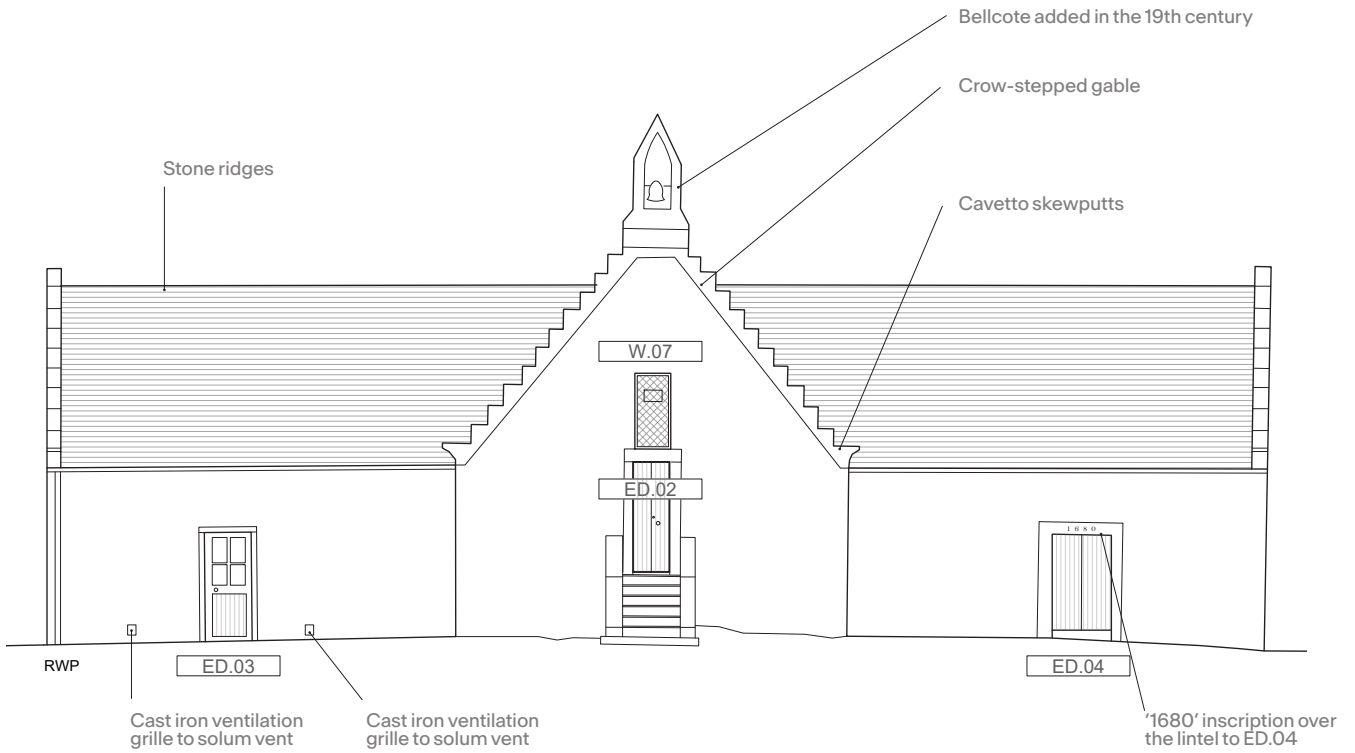
External door to the Vestry with the 1680 inscription



Memorial to the Mackay family buried in the vault beneath the church

2. Building Description

2.5 Illustration



3. Statement of Significance

3.1 Listing Test

The following information comes from the listing for LB18456 on the Historic Environment Scotland Portal.

Category	A
Date Added	18/03/1971
Local Authority	Highland
Planning Authority	Highland
Parish	Tongue
NGR	NC 59086 57041
Coordinates	259086, 957041

Statement of Special Interest

Ecclesiastical building in use as such. Church said to have been re-built in 1680 by Donald MacKay, Master of Reay on site of St Peter's Chapel (Teampull Pheader). Laird's Loft canopy, of Mackay Lords of Reay, in National Museum of Antiquities since 1951. Reay burial vault below gallery.

References

Bibliography

IMPERIAL GAZETTEER OF SCOTLAND, II (circa 1858) p.797;

Groome's GAZETTEER OF SCOTLAND, VI, (1885) p. 444;

George Hay, THE ARCHITECTURE OF SCOTTISH POST REFORMATION CHURCHES (1957) pp. 75, 189, 192.

Description

Dated 1680; earlier core probably incorporating medieval chapel. Further additions and re-building in 1729/31, 1778 and 1862. Simple white harled cruciform church, with ashlar dressings. Earliest portion and original core runs east-west, with centre pointed-headed entrance in south elevation. Flat headed entrance with window above in centre of west gable approached by flight of steps leading to Laird's loft. Long wings at N and S, that to south with simple moulded doorpiece dated 1680 (to Minister's room). Single small pointed headed window in south gable and in north and south elevations of main body of church. 2 long rectangular windows light east gable. Plain flat-headed doorway gives access to north wing, now serving as parish room. Lattice glazing. 19th century bellcote at west gable apex; cavetto skewputts; crowsteps; West Highland slate roof; stone ridge.

Interior; simple interior orientated to east; small gallery to west, (former Laird's Loft), with 18th century panelled front.

Burial ground and gate piers; rubble walls with dressed with simple stepped caps and pair cast-iron gates.

4. Site Appraisal

4.1 Location & Access

The church is located on the A838 heading North towards the Tongue Causeway. There are views across to Caisteal Bharraich and the Kyle of Tongue.

Pedestrian access is provided via several wrought iron gates. The double gates to the West, on the pedestrian pavement running along the A838 road, provide the principal pedestrian access. There is a small car park which can be accessed from the vehicular route further to the North.



Wrot iron entrance gates to the church grounds



Small car park to the rear of the church

5. Inspection Report

5.1 Inspection Summary

The inspection was carried out by Nicholas Groves-Raines MBE and Catriona Wright on the 28th of October 2025 in line with the guidance set out in BS 7913:2013

BS 7913:2013 recommends that the outside of a historic building is surveyed before the inside and there is a logical process for inspecting and recording.

The following methods were used during the inspection:

- External visual inspection from ground level
- External visual inspection from mobile scaffold tower
- Internal visual inspection
- Photographic survey



5. Inspection Report

5.2 Priority Categories

Priority Categories

The following table indicates the urgency or priority categories for items of work:

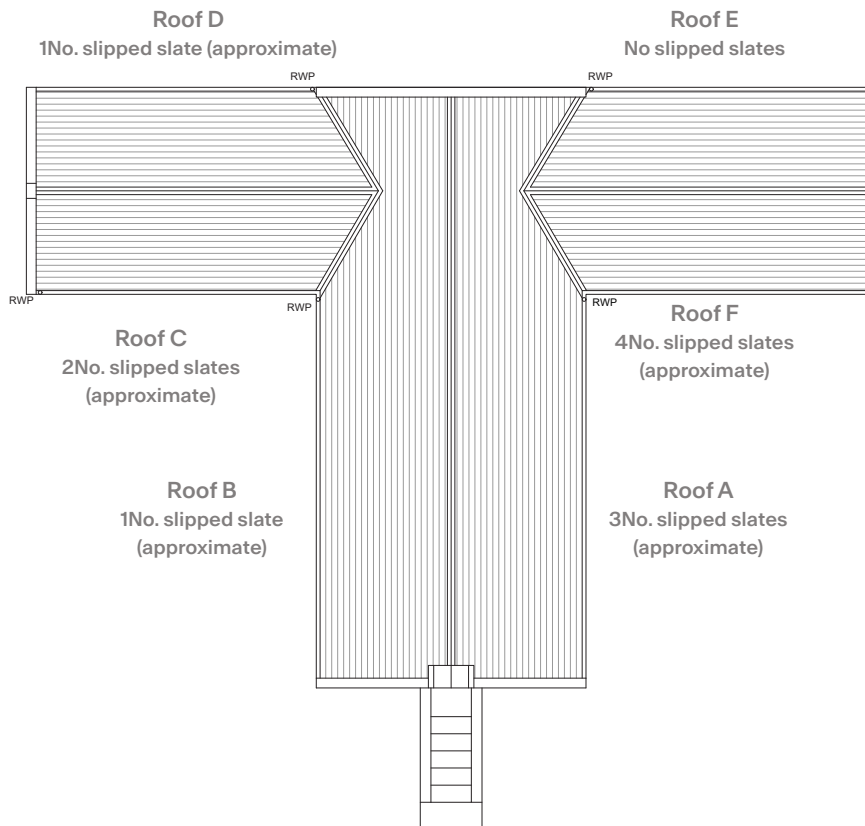
Items of work will be arranged into four urgency or priority categories:

- *Immediate - Work that should commence without delay for public safety or health and safety reasons, to prevent imminent damage or to arrest rapid deterioration. This can include immediate further investigation.*
- *Urgent - Work that should be carried out within weeks or months, and within 18 months at most. Failure to do so would be likely to result in significant further damage or deterioration and increased cost.*
- *Necessary - Work that should be carried out before the next inspection, for which there is time to plan, and which can be integrated with other work. This is work that is due in order to keep the historic building in a state of good repair and to maintain its value and usefulness. Most repair work falls within this category.*
- *Desirable - Work that is desirable, if not strictly necessary, but that might improve the functioning or performance of the historic building or enhance its architectural or aesthetic qualities. Alternatively, work that is not due, but is likely to become so before the next inspection and can sensibly be incorporated with other work. Much minor conservation work, such as the reinstatement of suitable windows, should fall within this category.*

Immediate	Work required straight away
Urgent	Work required in 18 months
Necessary	Work required in the next 5-10 years
Desirable	Work optional or part of regular, ongoing maintenance

5. Inspection Report

5.3.1 Roofs



Roof

The roof is slated with West Highland slates and has stone ridges, cavetto skewputts and crow-stepped gables. The North and South wings were added in 1729-30 resulting in the lead valley gutters. The West gable has a small turret with an open bell which was added in the 19th century.

The roofs appear, on the face of it, to be in fair condition. However, there are several slipped or missing slates requiring reinstatement on five of the six roofs, approximate numbers are noted above. On close inspection, it was found that although the slates, on the whole, are tight and well bedded, there is clear evidence of nail sickness which may become more apparent when repairs to the slipped slates are carried out. Severe corrosion of the slating nails was seen in an area of loose slating by the eaves above the Vestry door. There is also widespread evidence of past repairs utilising lead hooks. There appears to be no roofing felt over the sarking or insulation in any of the roof spaces.

Close inspection from a scaffold will be required to elaborate on the condition of the roof and other elements. The stone ridges should be inspected and any gaps and cracks repointed. The abutment between the slate and the crowstep will need to be monitored as

there appears to have been cement based repairs to the mortar fillet. Any cracks will need to be repaired and filled to prevent water ingress.

Leadwork to the valleys is generally carried out in one single length, which inevitably leads to cracking and splitting of the lead due to metal fatigue, caused by repeated heating and cooling. All leadwork should be closely inspected to determine the extent of repairs required. No evidence of current leaks were seen, however, recent repairs to the interior suggest that water ingress has occurred in the past. Cracks and splits in the lead flashing are visible at the bottom outlet ends of the valleys. A complete scheme of reslating will likely be required in the medium (10 year) term.

Rainwater Goods

The gutters are supported with a mix of gutter straps and drive-in rise and fall brackets. There is evidence of corrosion and staining around the drive-in brackets. It is recommended that all drive-in brackets are replaced with sarking brackets to prevent further staining. Allow for a redecoration of all rainwater goods along with a flush through of the existing system to ensure efficient operation. There will be a requirement for ongoing maintenance requirement to clear the rainwater goods of debris along with regular redecoration of the cast iron rainwater goods and other ferrous metal components.

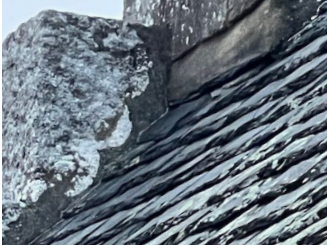



5. Inspection Report

5.3.1 Roofs

No.	Photo	Location	Description & Proposed Repair	Priority
1		Roof A (South Elevation)	Several of the lower slates, forming the double course at the eaves, have slipped. These should be identified and reinstated with copper nails.	Immediate
2		Roof A (South Elevation)	There are approximately 3No. slipped slates across Roof A requiring replacement. These should be identified and reinstated with copper nails.	Immediate
3		Roof A (South Elevation)	Ensure all valleys are clear of vegetation and other debris. This should be carried out as part of an ongoing maintenance programme of activities.	Immediate
4		Roof A (South Elevation)	The lead valley appears to be made from one piece of lead sheet. This should be replaced to LCA recommendations if the roof is stripped and reslated.	Necessary
5		Roof A (South Elevation)	Ensure all gutters and rainwater hoppers are clear of vegetation and other debris. This should be carried out as part of an ongoing maintenance programme of activities.	Immediate






5. Inspection Report

5.3.1 Roofs

No.	Photo	Location	Description & Proposed Repair	Priority
6		Roof A (South Elevation)	The mortar skew at the crow-stepped gable and the mortar fillet around the chimney appear to be cracked and eroded. This should be inspected immediately as it may be a potential cause of the internal moisture patching on the West wall of the Nave. Any cementitious mortar should be raked out and renewed with a suitable hydraulic lime mortar.	Immediate
7		Roof B (North Elevation)	There are approximately 2No. slates which appear raised. This should be closely inspected to determine the cause.	Immediate
8		Roof B (North Elevation)	<p>The gutter running from North to South continues into the external wall rather than stopping short over the rainwater hopper. Water is overflowing and staining the external wall. The lead at the outlet is perished and cracked. Internally, there is evidence of moisture staining around the memorial plaque to Hon. Sophia Aylmer, daughter of Alexander Mackay, 8th Lord Reay. It is likely that this is as a result of the gutter and leadwork issues.</p> <p>The gutter should be cut back to prevent staining on the external wall. The cracked lead should be renewed in accordance with LCA recommendations.</p>	Immediate
9		Roof B (North Elevation)	Ensure all valleys are clear of vegetation and other debris. This should be carried out as part of an ongoing maintenance programme of activities.	Immediate




5. Inspection Report

5.3.1 Roofs

No.	Photo	Location	Description & Proposed Repair	Priority
10		Roof B (North Elevation)	GRAS observed evidence of nail sickness with corroded nail fixings in the slates. It is anticipated that the roof will require reslating in the next 10 years.	Necessary
11		Roof B (North Elevation)	There appears to be no roofing felt on the roof. It would be worth installing felt or a breathable membrane if the roof is stripped for reslating in the future.	Desirable
12		Roof B (North Elevation)	There are cracks in the cement skew at the abutment with the crow-stepped gable. The faulty skews should be raked out and renewed with a suitable hydraulic lime mortar.	Urgent
13		Roof C (West Elevation)	There are approximately 2No. slipped slates across Roof C. These should be identified and reinstated with copper nails.	Immediate
14		Roof C (West Elevation)	There are approximately 2No. slipped slates across Roof C. These should be identified and reinstated with copper nails.	Immediate




5. Inspection Report

5.3.1 Roofs

No.	Photo	Location	Description & Proposed Repair	Priority
15		Roof D (East Elevation)	Ensure all valleys are clear of vegetation and other debris. This should be carried out as part of an ongoing maintenance programme of activities.	Immediate
16		Roof D (East Elevation)	The lead valley appears to be made from one piece of lead sheet. This should be replaced to LCA recommendations if the roof is stripped and reslated.	Necessary
17		Roof D (East Elevation)	Ensure all gutters are clear of vegetation and plant growth. This should be carried out as part of an ongoing maintenance programme of activities.	Immediate
18		Roof F (West Elevation)	There are approximately 4No. slipped slates across Roof F. These should be identified and reinstated with copper nails.	Immediate

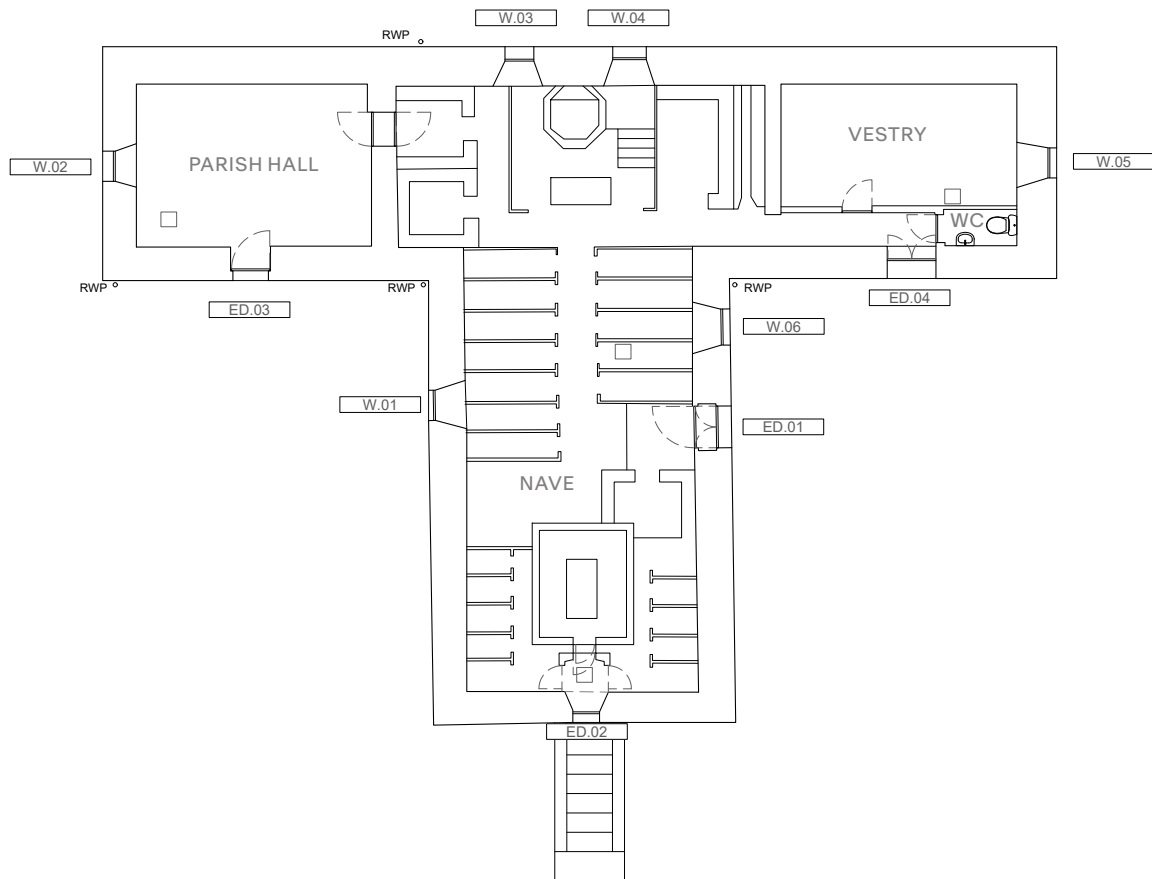
5. Inspection Report

5.3.2 Bellcote

No.	Photo	Location	Description & Proposed Repair	Priority
1		Bellcote	This area needs to be closely inspected as there is clear evidence of water ingress on the West gable below the bellcote.	Immediate
2		Bellcote	Some of the mortar joints between the ashlar stonework have eroded. Repointing should be carried out if a full scaffold is erected for additional roof repairs. All open joints and defective or cementitious pointing should be carefully raked out and renewed with a suitable hydraulic lime based mortar.	Urgent
3		Bellcote	The skew between the slates and the bellcote should be assessed when closer inspection at high level is possible. Allowance to be made to replace the skew with a suitable hydraulic lime mortar.	Urgent

5. Inspection Report

5.3.3 External



External Walls

The external walls were originally harled with natural stone surrounds to the door and window openings. There have been a number of repairs to the lime harl over the years, and it appears that some repairs have been carried out using cement. There have also been a number of localised cement repairs to the stone dressings around door and window openings. Areas of deterioration should be monitored and made good using appropriate materials.

The final coat on the external walls is paint, understood to be Keim paint, rather than limewash. Keim paint is a breathable mineral paint and is acceptable for use on listed buildings. However, the current overall appearance is patchy so it is therefore recommended that the building is recoated in Keim paint. This should be carried out to the manufacturer's exact requirements, particularly in terms of preparation.

Where seen, the cast iron grilles to the solum vents at the base of the walls are rusting, missing or blocked. There are solum vents on the West and North wings of the church but there are no vents on the South wing. New vents are urgently required to the Vestry wing to the South to prevent further deterioration and rot under the floor of

the WC. Cast iron vents with stainless steel vermin mesh should be installed immediately.

Rainwater Goods

The roof has cast iron rainwater goods and there is evidence of corrosion and staining around the drive-in brackets for the gutters and the drive-in holderbats for the downpipes. It is recommended that the drive-in brackets are replaced with sarking brackets to prevent further deterioration of the walls. There will be an ongoing maintenance requirement for regular redecoration of the cast iron rainwater goods and other ferrous metal components.

A full inspection of the below ground drainage was not possible, but there do not appear to be gulleys at the base of the downpipes. Some of the downpipes are blocked and should be cleared of debris. It is recommended that a flush through of the system is carried out to ensure efficient operation. The gutters should be levelled and all joints checked for breaks. The whole system will need to be renewed as part of the eventual roofworks. In the meantime, regular maintenance is essential to ensure efficient use. The whole system needs to be checked now to ensure it is fit for purpose in the medium term. This should be investigated immediately and any issues rectified.

5. Inspection Report

5.3.3 External

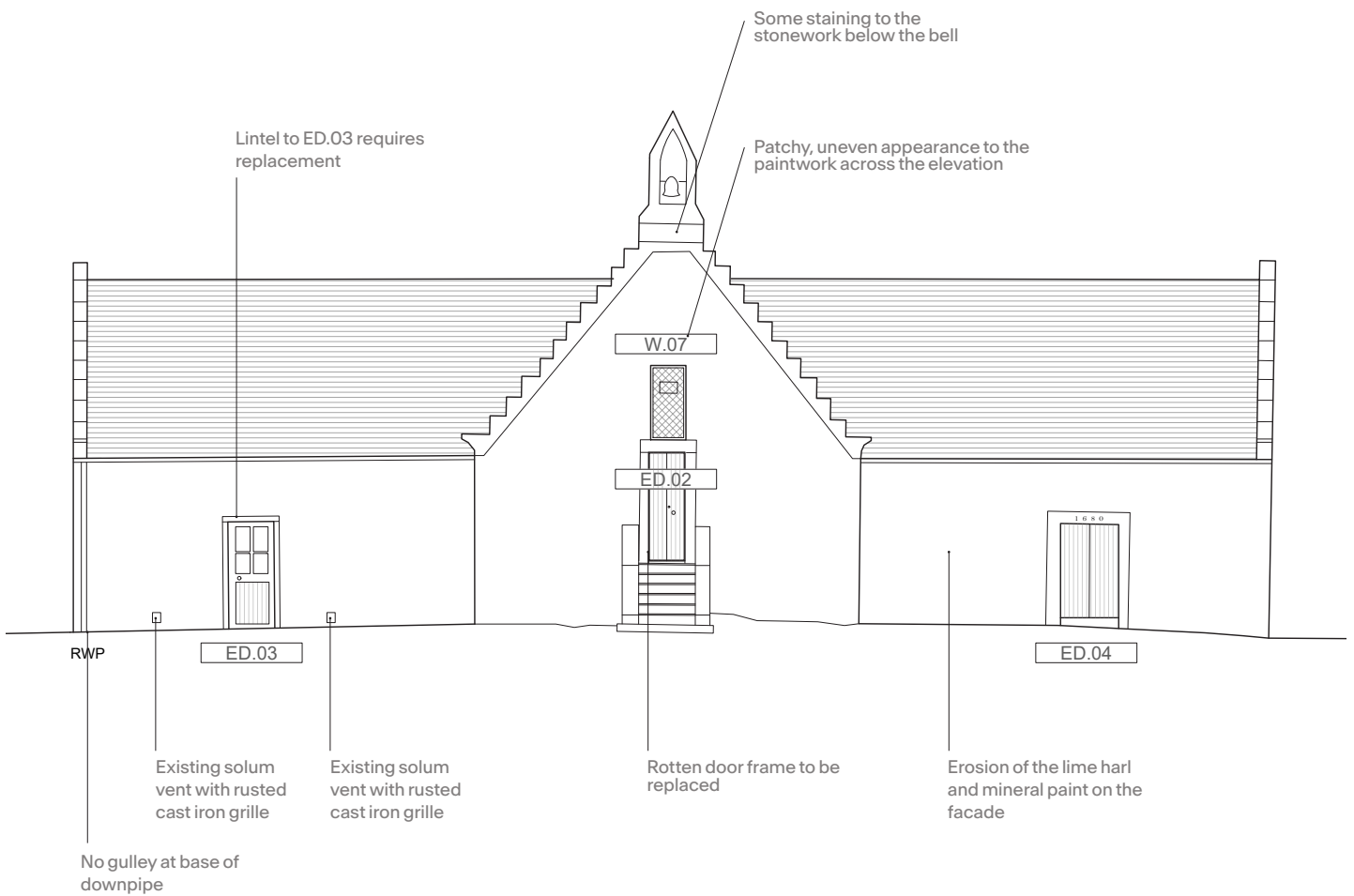
Doors & Windows

The windows are zinc with diamond quarries and seized opening vents. Some of the diamond glazing panes are broken and should be replaced by a specialist where possible. Remedial work to the seized vents is essential to provide air movement inside the church.

All windows will require repainting, it is important that this work is carried out with care and the paint specification is suitable for zinc windows as zinc can be very brittle. The pointing around the windows should also be renewed as required. The external redecoration of the doors and windows will be an ongoing maintenance requirement.






5. Inspection Report

5.3.4 External Elevation: West





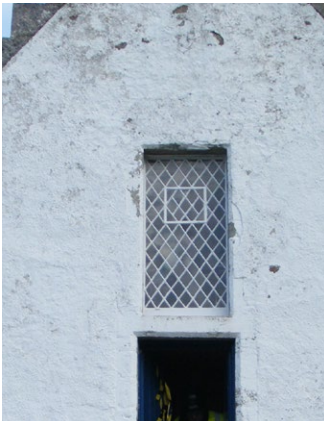

5. Inspection Report

5.3.4 External Elevation: West

No.	Photo	Location	Description & Proposed Repair	Priority
1		ED.02 Frame (West Elevation)	<p>The door frame to ED.02 is rotten and is deteriorating. The rotten sections should be cut out and replaced with new timber.</p> <p>Allow for a full repaint to all timber doors and facings. Remove all loose and defective coatings and repaint.</p>	Urgent
2	 	ED.03 Lintel (West Elevation) ED.03 Lintel	<p>There appear to have been localised cement repairs to the stone lintel above ED.03. A metal strap was installed below the lintel which has rusted and caused further deterioration to the stonework.</p> <p>The existing stone lintel and metal strap should be removed and replaced with a new stone lintel to match the surrounding stonework.</p>	Urgent
3	 	Facade (West Elevation) Facade	<p>The mineral paint and original external lime harl has eroded leaving exposed patches across the West elevation.</p> <p>It is recommended that the building is recoated in Keim paint, to their exact requirements, particularly in terms of preparation.</p>	Necessary

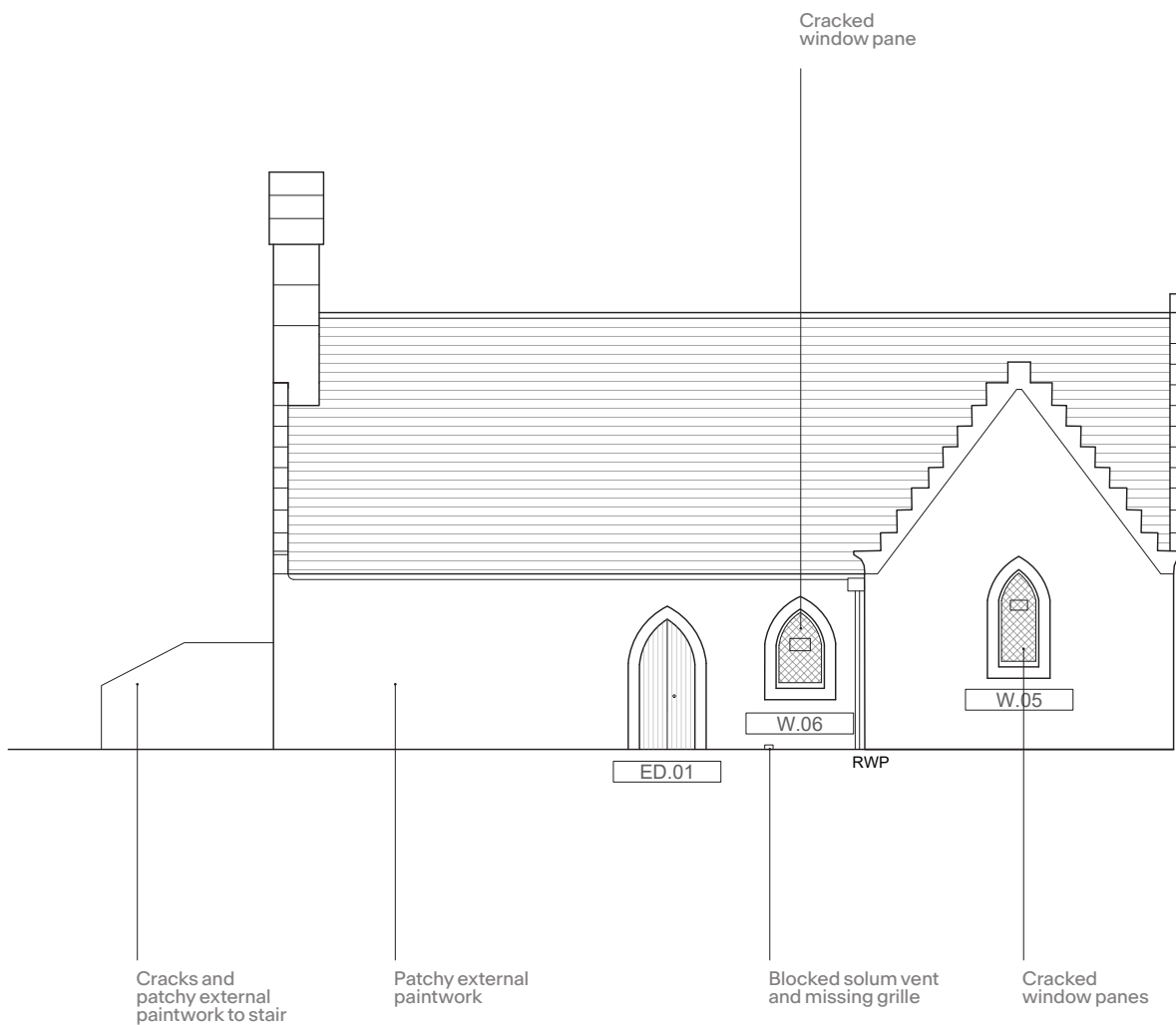
5. Inspection Report

5.3.4 External Elevation: West

No.	Photo	Location	Description & Proposed Repair	Priority
4		RWP (West Elevation)	Allow for an investigation to determine whether there is any below-ground drainage. GRAS were unable to fully inspect the drainage at the time of inspection. All gutters and downpipes should be checked for any blockages along with a flush through of the existing system.	Urgent
5		Stairs (West Elevation)	<p>There are several cracks in the stonework forming the stair at the West entrance door. Any large gaps and cracks should be infilled with a suitable hydraulic lime mortar.</p> <p>The mineral paint and original external lime harl has eroded leaving exposed patches across the West elevation.</p> <p>It is recommended that the building is recoated in Keim paint, to their exact requirements, particularly in terms of preparation.</p>	Necessary
6		Window above Laird's Loft (West Elevation)	All windows will require repainting, it is essential that this work is carried out with care as zinc can be brittle. The paint specification must be suitable for zinc windows.	Urgent
7		External Doors ED.02, ED.03, ED.04 (West Elevation)	Allow for a full repaint of all timber doors and facings. Any loose or defective coatings should be removed prior to repainting.	Urgent


Inspection Report

External Walls: South



5. Inspection Report

5.3.5 External Elevation: South





No.	Photo	Location	Description & Proposed Repair	Priority
1		(South Elevation)	<p>The solum vent has been temporarily blocked up with a mesh material to prevent rodent access.</p> <p>A new cast iron grille with stainless steel vermin mesh should be installed as soon as possible.</p>	Immediate
2		W.06 (South Elevation)	<p>There is a gap between the rybat and the cill.</p> <p>Any gaps to be infilled with a suitable hydraulic lime mortar as required.</p>	Urgent
3		W.05 (South Elevation)	<p>There are 3No. broken panes in W.05.</p> <p>The glazing should be replaced by a specialist.</p>	Urgent

5.

5.3.5

Inspection Report

External Elevation: South

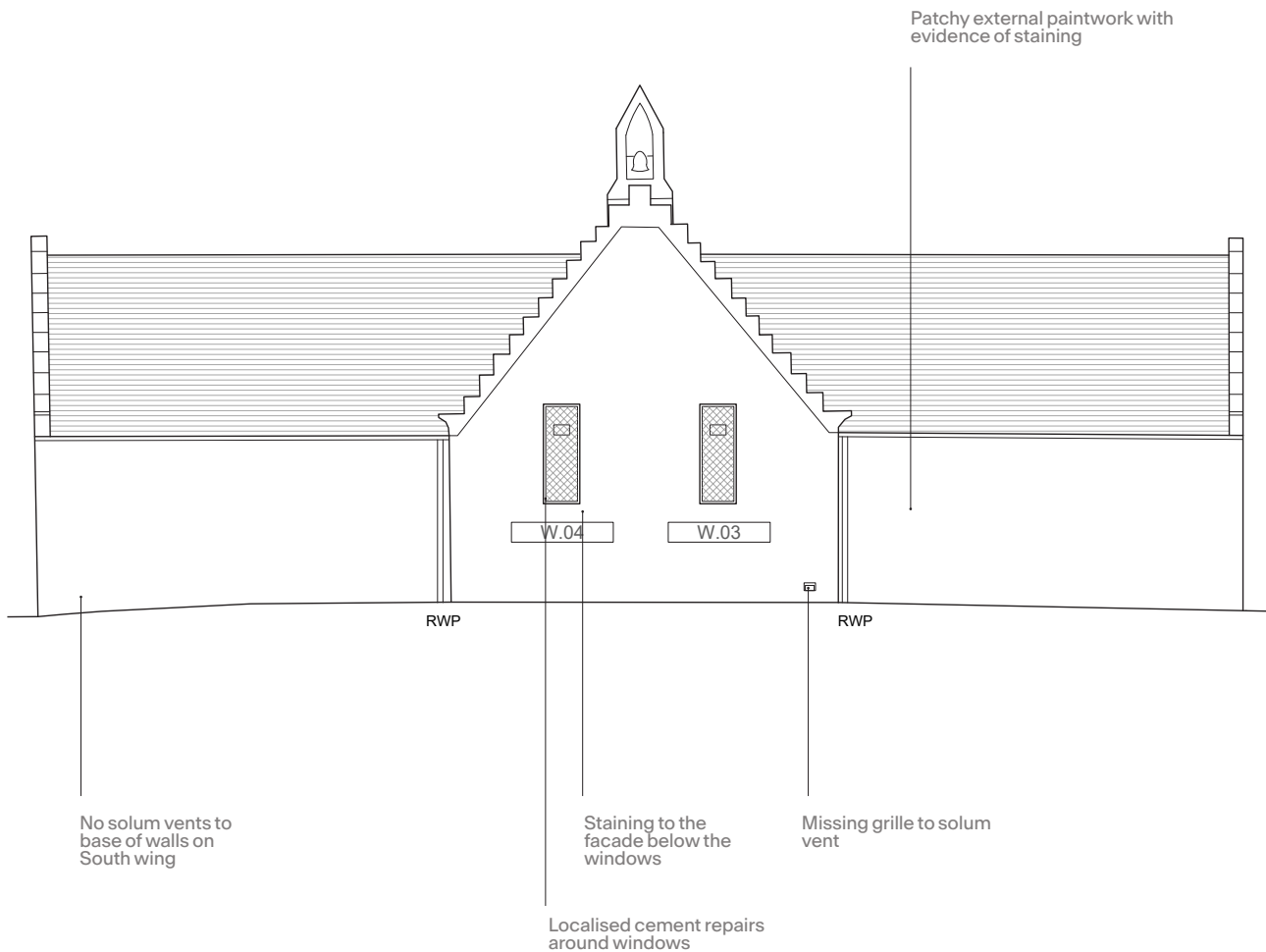
No.	Photo	Location	Description & Proposed Repair	Priority
4		W.05 (South Elevation)	<p>There is a gap between the window frame and the stone surround.</p> <p>Any gaps should be repointed with a suitable hydraulic lime mortar as required. Allow for the removal of any cement mortar as part of the window repair process.</p>	Urgent
5		W.05, W.06 (South Elevation)	<p>All windows will require repainting, it is essential that this work is carried out with care as zinc can be brittle. The paint specification must be suitable for zinc windows.</p> <p>The seized vents should be opened for ventilation purposes.</p>	Urgent
6		ED.01 (South Elevation)	<p>Allow for a full repaint of all timber doors and facings. Any loose or defective coatings should be removed prior to repainting.</p>	Urgent
7		South Elevation	<p>The mineral paint and original external lime harl has eroded leaving exposed patches across the South elevation. There is also evidence of damp staining from the gutters.</p> <p>It is recommended that the building is recoated in Keim paint, to their exact requirements, particularly in terms of preparation.</p>	Necessary

5.

5.3.6





Inspection Report

External Elevation: East




5. Inspection Report

5.3.6 External Elevation: East

No.	Photo	Location	Description & Proposed Repair	Priority
1		Facade (East Elevation)	<p>Uneven colour and evidence of staining from leaks and overflow from the gutters. The mineral paint and original external lime harl has eroded leaving exposed patches across the West elevation.</p> <p>It is recommended that the building is recoated in Keim paint, to their exact requirements, particularly in terms of preparation.</p> <p>Check gutters for any cracks or fractures above stained areas.</p>	Necessary
2		Solum vent (East Elevation)	A new cast iron grille with stainless steel vermin mesh should be installed to this solum vent.	Urgent
3		RWP (East Elevation)	Allow for an investigation to determine whether there is any below-ground drainage. GRAS were unable to fully inspect the drainage at the time of inspection. All gutters and downpipes should be checked for any blockages along with a flush through of the existing system.	Urgent
4		W.03, W.04 (East Elevation)	There is cementitious render around the reveals to W.03 and W.04. Further inspection is required to determine whether the cementitious render can be removed without damaging the existing stonework and the windows.	Urgent

5. Inspection Report

5.3.6 External Elevation: East

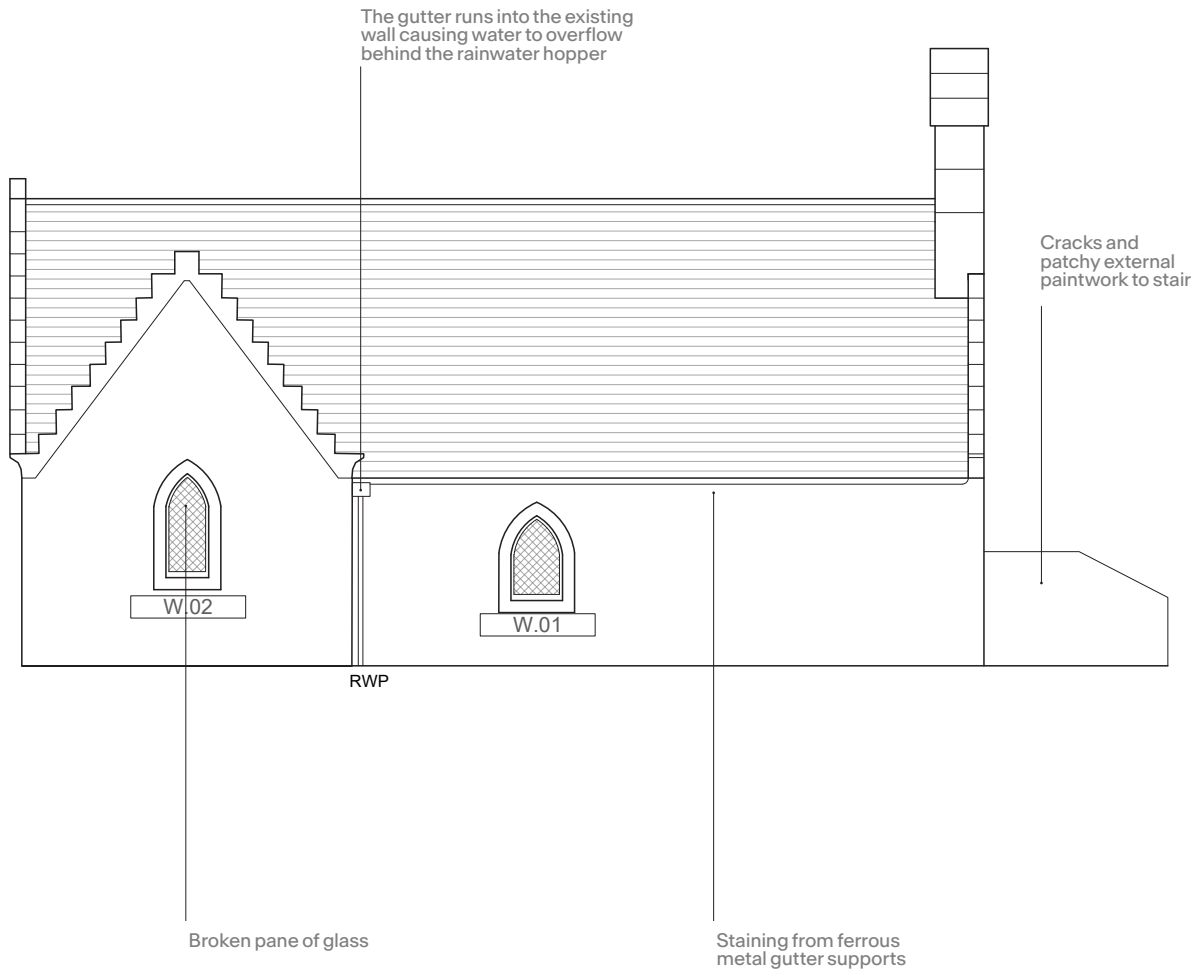
No.	Photo	Location	Description & Proposed Repair	Priority
5		W.03 and W.04 (East Elevation)	<p>All windows will require repainting, it is essential that this work is carried out with care as zinc can be brittle. The paint specification must be suitable for zinc windows.</p> <p>The seized vents should be opened for ventilation purposes.</p>	Urgent

5.

5.3.7





Inspection Report

External Elevation: North





5. Inspection Report

5.3.7 External Elevation: North

No.	Photo	Location	Description & Proposed Repair	Priority
1		RWP (North Elevation)	Allow for an investigation to determine whether there is any below-ground drainage. GRAS were unable to inspect this at the time of inspection. All gutters and downpipes should be checked for any blockages along with a flush through of the existing system.	Urgent
2		Facade (North Elevation)	<p>Uneven colour and evidence of moisture staining. The mineral paint and original external lime harl has eroded leaving exposed patches across the West elevation.</p> <p>It is recommended that the building is recoated in Keim paint, to their exact requirements, particularly in terms of preparation.</p>	Necessary
3		Stair (North Elevation)	<p>There are several cracks in the stonework forming the stair at the West entrance door. Any large gaps and cracks should be infilled with a suitable hydraulic lime mortar.</p> <p>The mineral paint and original external lime harl has eroded leaving exposed patches across the North elevation.</p> <p>It is recommended that the building is recoated in Keim paint, to their exact requirements, particularly in terms of preparation.</p>	Necessary
4		W.02 (North Elevation)	There is a broken pane of glass in W.02. This should be replaced by a specialist	Urgent

5. Inspection Report

5.3.7 External Elevation: North

No.	Photo	Location	Description & Proposed Repair	Priority
5		W.02 (North Elevation)	All windows will require repainting, it is essential that this work is carried out with care as zinc can be brittle. The paint specification must be suitable for zinc windows.	Urgent
6		Drive-in gutter brackets (North Elevation)	<p>Staining from ferrous metal fixings.</p> <p>It is recommended that the building is recoated in Keim paint, to their exact requirements, particularly in terms of preparation.</p> <p>It is recommended that all drive-in gutter brackets are replaced with sarking brackets as the drive-in brackets are causing staining and damage to the external walls and render.</p>	Urgent

5. Inspection Report



5.3.8 Wider Exterior & Landscaping

The church is surrounded on three sides by a burial ground which extends up behind the building to the East. The burial ground, gate piers, rubble walls and gates are included in the Category A listing.

It was not possible to do a full inspection of the drainage at the time of the inspection. It is recommended that the drainage system is flushed through to ensure efficient operation. Further

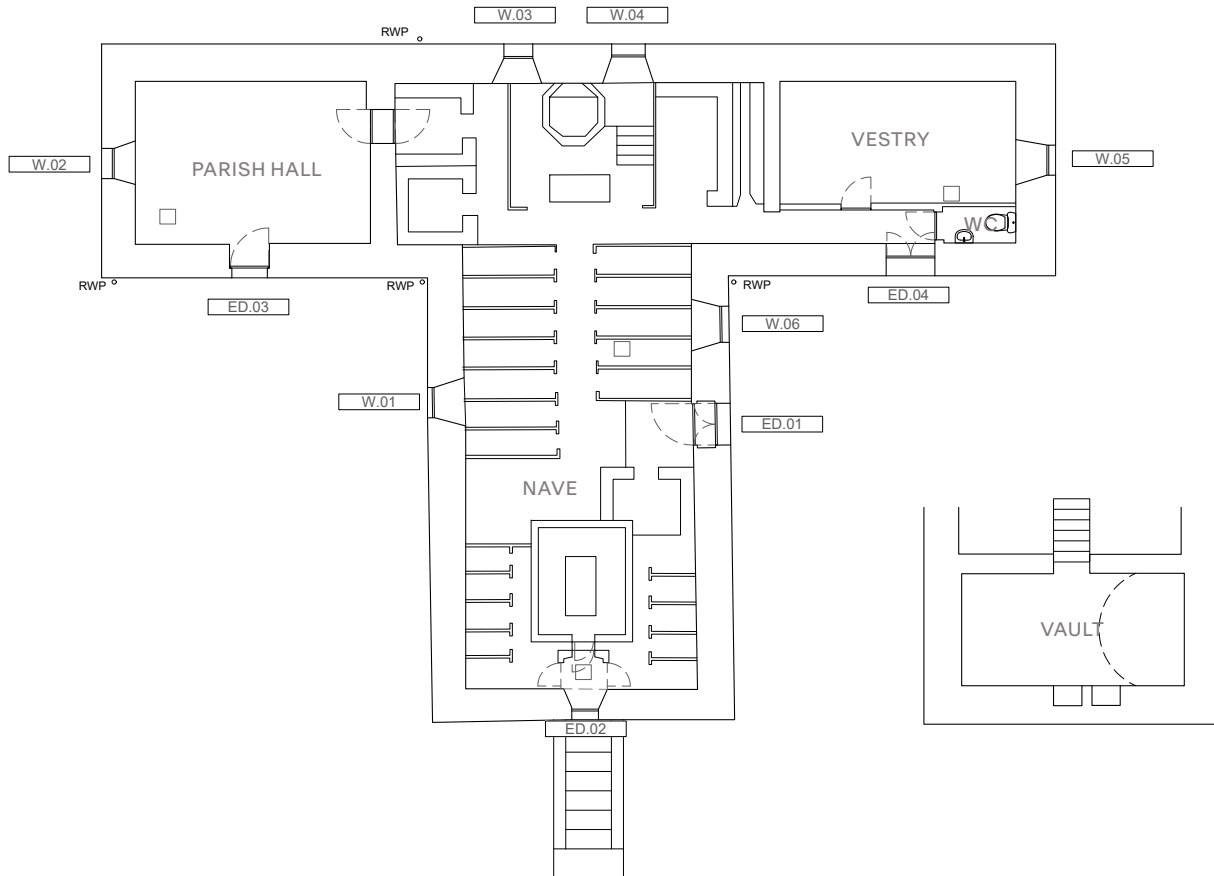
investigation should be carried out and any broken or defective drains repaired as necessary.

The burial grounds appear to be well kept with gravel pathways. The headstones appear to be in relatively good condition but it is recommended that all headstones are checked to make sure that they are secure.

No.	Photo	Location	Description & Proposed Repair	Priority
1		North -East of the church	The manhole is new and needs to be checked. The cover is raised and should either be lowered to suit the surrounding ground level or the ground level should be raised as it is a trip hazard and unsightly.	Urgent
2		South-East of the church	There are gaps around the edges of the cover providing space for leaves and debris to enter.	Urgent

5. Inspection Report

5.3.9 Internal



Ceiling and Attic Space

Generally, the roof spaces are dry with no obvious indication of water ingress. There is some evidence of dampness directly below the bellcote but it was difficult to properly access the roof void over the Nave at the time of inspection. Some years ago, a repair to an area of cracked lime plaster was carried out below the foot of the South-East valley gutter. The plaster was temporarily replaced with plasterboard and no further dampness has been recorded. The plasterboard should be replaced with lath and lime plaster as originally intended.

Interior Walls

The internal walls are lined with lath and plaster. They are in relatively good condition but there is evidence of moisture staining, particularly around the memorial plaque to the Hon. Sophia Aylmer and in the

South-West corner of the Nave. Any repairs to original plaster linings should be carried out using matching methods and materials.

Floors

GRAS were able to inspect the solum in the Nave, Vestry and the WC through access points in the suspended wooden floors. The Vestry floor is quite springy to walk on but appears to be quite dry. However, the floor beneath the WC is covered in mold and is evidently in a rotten condition. The solum below the Vestry is unventilated and damp as a consequence. The access corridor is paved in Caithness slabs and no access was possible but it appeared to be quite dry and firm. The solum beneath the suspended floors of the Nave was dry and well ventilated. All floors are suspended well above the solum. There are external solum vents on the North and West wings.

5. Inspection Report

5.3.9 Internal

However, there are no vents on the South wing. All vents should be unblocked and cast iron vents with stainless steel vermin mesh installed immediately. New vents and grilles should be added to the South wing.



Vault

The vault was damp but there were no signs of severe water ingress.

There is a lack of ventilation in this space which means it will require ongoing monitoring.


5. Inspection Report

5.3.10 Internal: Nave

No.	Photo	Location	Description & Proposed Repair	Priority
1		<p>Nave (South-West Corner)</p>	<p>There are internal moisture patches likely caused by water ingress from the defective skew above. This area should be opened up for further inspection and the skew above closely inspected at roof level to determine whether this is the cause of the internal staining.</p> <p>Additional coats of paint are required internally. The existing plaster should be assessed and only replaced if the plaster is found to have perished, the laths rotted or keys broken off. The internal work should ideally be carried out once the external issues have been addressed and the interior has dried out.</p>	Necessary
2		<p>Nave (North Elevation)</p>	<p>Evidence of moisture staining around the memorial plaque to Hon. Sophia Aylmer, daughter of Alexander Mackay, 8th Lord Reay, as noted in the report by HRI Munro in 2021. It is likely that the cause of the dampness is the proximity of the leaking hopper in the corner behind the memorial plaque.</p> <p>This area of the North internal wall remains damp and there are internal moisture patches as a result of water ingress.</p> <p>Additional coats of paint are required internally. The internal work should ideally be carried out once the external issues have been addressed and the interior has dried out. The area should be monitored once the external defect has been fixed.</p>	Necessary




5. Inspection Report

5.3.10 Internal: Nave

No.	Photo	Location	Description & Proposed Repair	Priority
3		Nave (East Elevation)	<p>The original plaster finish debonded from the lath in this coombed area as noted in the report by HRI Munro in 2021. The loose plaster was subsequently removed and a temporary plasterboard replacement was installed.</p> <p>The plasterboard should be removed and replaced with lath and lime plaster to match the original.</p>	Necessary




5. Inspection Report

5.3.11 Internal: Nave Roof Space

No.	Photo	Location	Description & Proposed Repair	Priority
1		Roof Space (Nave West)	<p>There appears to be evidence of insects gathering in between the sarking and the rafters. Access into the roof space was limited at the time of inspection making identification difficult. It is expected that these are likely cluster flies which often shelter in roof spaces in the Autumn.</p> <p>There are limited solutions to prevent cluster flies from entering roof spaces.</p>	Urgent
2		Roof Space (Nave West Gable)	<p>There is evidence of damp staining on the stonework on the West gable. This is likely from the Bellcote above which requires urgent inspection.</p>	Urgent
3		Roof Space (Nave West)	<p>The roof space is uninsulated. It is not essential to introduce insulation but this may be a requirement if the heating was upgraded in the future.</p> <p>Roof ventilation will need to be installed as part of any future reslating works.</p>	Desirable


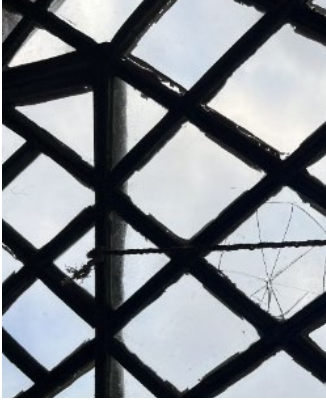
5. Inspection Report

5.3.12 Internal: Parish Hall

No.	Photo	Location	Description & Proposed Repair	Priority
1		Floor (Parish Hall)	<p>There are tiles beneath the carpet flooring. The tiles may be linoleum but could be PVC which could contain asbestos fibre. It is recommended that a sample of the tile is tested for asbestos prior to any removal.</p> <p>Allow for a full Refurbishment and Demolition Asbestos Survey to be carried out before any alteration works.</p>	Necessary
2	 	Roof Space (Above Parish Hall)	<p>The original lath and plaster ceiling is partially retained above the lowered ceiling in the Parish Hall (North wing).</p> <p>Areas of the original lath and plaster ceiling have debonded and collapsed onto the later ceiling. Any loose sections of plaster should be removed.</p> <p>The original ceiling might be exposed in the future to restore the space to its original appearance. This may be done as part of the general upgrading, perhaps when the roofworks are done, so retention of the original material is important.</p>	Urgent

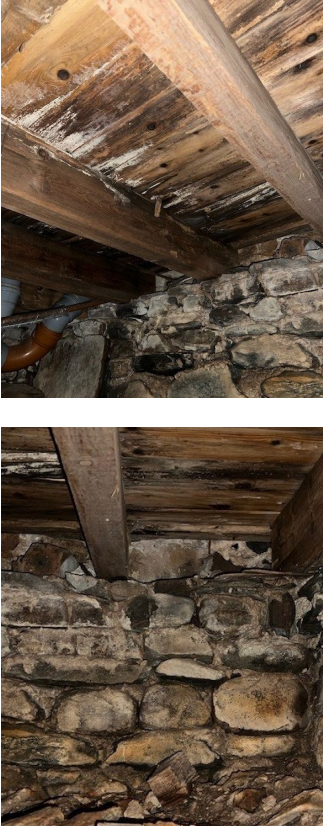

5. Inspection Report

5.3.13 Internal: Vestry

No.	Photo	Location	Description & Proposed Repair	Priority
1		Attic Space (Above corridor)	<p>Areas of the original lath and plaster have debonded and fallen onto the later suspended ceiling over the corridor. Any loose sections of plaster should be removed.</p> <p>The original ceiling might be exposed in the future to restore the space to its original appearance. This may be done as part of the general upgrading, perhaps when the roofworks are done, so retention of the original material is important.</p>	Urgent
2		W.05 (Vestry)	<p>There is a crack in a pane of W.05. This should be replaced by a specialist.</p>	Urgent

5. Inspection Report

5.3.14 Internal: WC



No.	Photo	Location	Description & Proposed Repair	Priority
1		Solum (WC)	<p>GRAS inspected the solum below the WC via a hatch in the Vestry floor. There is evidence of damp and fungal growth to the underside of the floorboards, presumably as a result of an ongoing leak. The floor in the WC is tiled so cannot breathe.</p> <p>The cause of the leak should be identified, the area should be fully dried out and the floor should be replaced. The affected floorboards should be removed carefully along the edges. Install replacement boards to suit.</p> <p>There are no solum vents in this wing of the church. It is recommended that new solum vents and cast iron grilles are installed to improve ventilation.</p>	Immediate
2		Fanlight (WC)	<p>There is a broken pane in the fanlight over the internal door to the WC.</p> <p>This should be replaced to match existing.</p>	Necessary

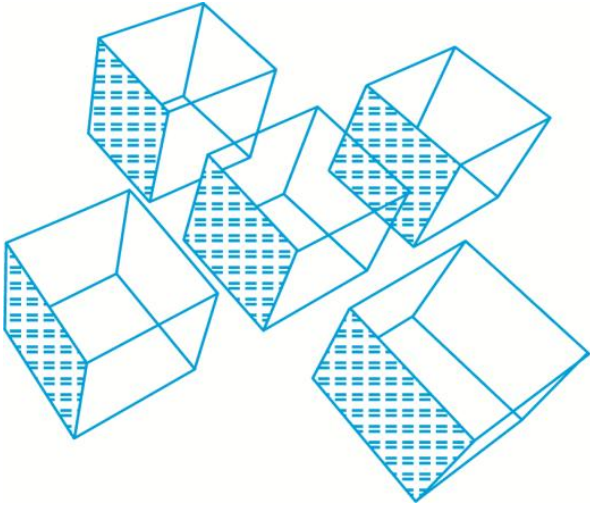
5. Inspection Report

5.3.15 Services

The Vestry and WC are supplied with hot water via an electric water heater. The water supply was turned off at the time of the GRAS inspection but is assumed that the sanitaryware remains in working order. The foul drainage from the WC is ventilated by an AAV which is not sufficient to vent a septic tank. An open vent should be fitted, perhaps on the East slope of the roof. The heating is on a timer which is controlled by a thermostat

located in the Vestry. The heating is unlikely to be particularly effective without maintaining a steady temperature via an alternative method, such as underfloor heating. This would not be practical in this A-listed building, as the pews and floors would have to be lifted. Radiators may be an option but this would depend on the future use for the church. Additional insulation will likely become a requirement if the heating is upgraded.

No.	Photo	Location	Description & Proposed Repair	Priority
1		Vestry	The last inspection of the electrics was noted as 09.08.2017 on the consumer unit with a recommended date of reinspection of 09.08.2022. It is assumed that there has been no further inspection. The electrics should be tested as part of an annual safety inspection.	Urgent
2		Vestry	The last fire protection inspection was carried out on 14.08.2017 and it is assumed that there has been no further inspection. A Fire Risk Assessment, carried out by a competent person, is an urgent requirement if public access is to be contemplated.	Urgent



Morham + Brotchie PARTNERSHIP

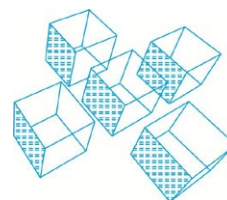
St Andrew's Church, Tongue

Fabric Repair Cost

GRAS

8 December 2025

Proposed Repairs to St Andrew's Church
at
Tongue



**Morham
+ Brotchie**
PARTNERSHIP

Summary of Construction Costs - 8 December 2025

1 Introduction

This document has been prepared to report on the anticipated capital costs associated with the repairs as defined within GRAS' condition survey. The costs are broken down into areas and are identified into categories of urgency.

It should be noted that at this stage the proposals are still at an early stage and consequently a significant number of assumptions have been made when preparing this summary.

2 Cost Summary

			Immediate	Urgent	Necessary	Desirable
BUILDERWORK						
1	Roofing Work		£ 2,750	£ 500	£ 90,500	£ -
2	External Walls		£ 500	£ 18,750	£ 17,000	£ -
3	Wider Exterior and Landscaping		£ -	£ 7,250	£ -	£ -
4	Internal		£ 3,250	£ 1,500	£ 6,000	£ 6,750
5	Services		£ -	£ 500	£ -	£ 1,000
	Sub-Total		£ 6,500	£ 28,500	£ 113,500	£ 7,750
7	Preliminaries	22%	£ 1,430	£ 6,270	£ 24,970	£ 1,705
8	Contingency	15%	£ 1,190	£ 5,216	£ 20,771	£ 1,418
			£ 9,120	£ 39,986	£ 159,241	£ 10,873
	SAY		10,000	40,000	160,000	10,000

3 Notes on the Cost

- 1 The costs assume that the work is competitively tendered on a traditional basis.
- 2 Preparatory works while excluded will be required. Preparatory
- 3 The VAT position appears to be that the works attract VAT at the standard rate. M+BP recommend that a TAX advisor is contacted to confirm this assumption

4 Exclusions

- 1 VAT on preparatory works and professional fees
- 2 Preparatory Works
- 3 Professional Fees
- 4 Building Warrant and Planning Fees
- 5 Insurances
- 6 Upgrading of heating and electrics

Prepared by:

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St Andrews Church, Tongue

Refer to GRAS Condition Survey

Roof A - South Elevation

	QTY	UNIT	RATE	Immediate	Urgent	Necessary	Desirable
1 Lower slates have slipped need reinstated; refix existing slates with copper nails	6	m2	£ 75	£ 450	£ -	£ -	£ -
2 Slipped slates Identified, to be reinstated	3	nr	£ 30	£ 90	£ -	£ -	£ -
3 Remove vegetation and debris from valleys	1	hr	£ 60	£ 60	£ -	£ -	£ -
4 Replacement of lead valley							
- remove adjacent slate and lay aside	2	m2	£ 35	£ -	£ -	£ 70	£ -
- remove lead and dispose	4	m	£ 25	£ -	£ -	£ 100	£ -
- replacement of timber substrate	4	m	£ 90	£ -	£ -	£ 360	£ -
- new lead valley	4	m	£ 190	£ -	£ -	£ 760	£ -
- re-slate using slate previously laid aside	2	m2	£ 90	£ -	£ -	£ 180	£ -
eo for sourced reclaimed slate	1	sum	£ 250	£ -	£ -	£ 250	£ -
5 Clear gutters and hoppers of debris	10	m	£ 8	£ 80	£ -	£ -	£ -
6 Mortar skew at crow stepped gable and chimney is cracked and eroded inspect and determine extent of repairs needed							
- Skew mortar inspection	2	hrs	£ 60	£ 120	£ -	£ -	£ -
- Replacement of cement mortar with hydraulic lime mortar - (assume 100%)	2	m2	£ 150	£ 300	£ -	£ -	£ -

Roof B - North Elevation

7 Inspection of raised slates	1	hr	£ 60	£ 60	£ -	£ -	£ -
8 Reconfigure and repair rainwater goods							
- Cut back the gutter length so water passes into hooper	1	sum	£ 350	£ 350	£ -	£ -	£ -
- Repair work to lead hopper	1	sum	£ 1,000	£ 1,000	£ -	£ -	£ -
9 Remove vegetation and debris from valleys	1	hr	£ 60	£ 60	£ -	£ -	£ -
10 Reslating of entire roof (ALL roofs, not only Roof B)							
- remove slate	215	m2	£ 25	£ -	£ -	£ 5,375	£ -
- repair sarking board (say 25%)	53.75	m2	£ 35	£ -	£ -	£ 1,881	£ -
- structural timber repair (Provisional)	1	sum	£ 7,500	£ -	£ -	£ 7,500	£ -
- roof membrane	215	m2	£ 12	£ -	£ -	£ 2,580	£ -
- new slate	215	m2	£ 250	£ -	£ -	£ 53,750	£ -
eo for taking up and rebedding ridge	23	m	£ 50	£ -	£ -	£ 1,150	£ -
eo for essential scaffolding	1	sum	£ 15,000	£ -	£ -	£ 15,000	£ -
11 There appears to be no roofing felt on the roof. It would be worth installing felt or a breathable membrane if the roof is stripped for reslating in future.				include under item 10			
12 Cracks in cement skew at abutment with crow stepped gable, faulty skews to be raked out and renewed with lime mortar							
- Skew mortar inspection	2	hrs	£ 60	£ -	£ 120	£ -	£ -
- Replacement of cement mortar with hydraulic lime mortar - (assume 100%)	2	m2	£ 150	£ -	£ 300	£ -	£ -

Roof C - West Elevation

13 Slipped slates Identified, to be reinstated	2	nr	£ 30	£ 60	£ -	£ -	£ -
14 Duplicated item (same as item 13)	-	-	-	-	-	-	-

Roof D - East Elevation

15 Remove vegetation and debris from valleys	1	hr	£ 60	£ 60	£ -	£ -	£ -
16 Replacement of lead valley							
- remove adjacent slate and lay aside	2	m2	£ 35	£ -	£ -	£ 70	£ -
- remove lead and dispose	4	m	£ 25	£ -	£ -	£ 100	£ -
- replacement of timber substrate	4	m	£ 90	£ -	£ -	£ 360	£ -
- new lead valley	4	m	£ 190	£ -	£ -	£ 760	£ -
- re-slate using slate previously laid aside	2	m2	£ 90	£ -	£ -	£ 180	£ -
17 Remove vegetation and debris from valleys	1	hr	£ 60	£ 60	£ -	£ -	£ -

Roof F - East Elevation

18 Slipped slates Identified, to be reinstated	4	nr	£ 30	£ 120	£ -	£ -	£ -
				£ 2,870	£ 420	£ 90,426	£ -
To Summary				£ 2,750	£ 500	£ 90,500	£ -

St Andrews Church, Tongue	QTY	UNIT	RATE	Immediate	Urgent	Necessary	Desirable
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Refer to GRAS Condition Survey

Bellcote

1	Closely inspect masonry	2	hrs	£ 60	£ 120	£ -	£ -	£ -
2	Repointing including raking out cement pointing	4	m2	£ 150	£ -	£ 600	£ -	£ -
3	Mortar skew at bellcote to be inspected and repaired							
	- Skew mortar inspection	2	hrs	£ 60	£ -	£ 120	£ -	£ -
	- Replacement of cement mortar with hydraulic lime mortar - (assume 100%)	2	m2	£ 150	£ -	£ 300	£ -	£ -

External Elevation - West

1	Work to door ED.02							
	- Remove door frame	1	nr	£ 30	£ -	£ 30	£ -	£ -
	- Replace door frame	5	m	£ 35	£ -	£ 175	£ -	£ -
	- Redecoration	4	m2	£ 25	£ -	£ 100	£ -	£ -
2	Replacement of lintel arrangement at ED.03							
	- Remove existing lintel	1	nr	£ 100	£ -	£ 100	£ -	£ -
	- temp support	1	sum	£ 175	£ -	£ 175	£ -	£ -
	- repair pockets	2	nr	£ 175	£ -	£ 350	£ -	£ -
	- Install new stone lintel	1	nr	£ 450	£ -	£ 450	£ -	£ -
3	Redecoration of External Walls							
	- prepare existing surfaces	77	m2	£ 10	£ -	£ -	£ 770	£ -
	- apply keim paint to manufacturers recommendation	77	m2	£ 50	£ -	£ -	£ 3,850	£ -
4	Work to Rain Water Pipes							
	- Investigation works (excavation) to locate UGD	1	sum	£ 350	£ -	£ 350	£ -	£ -
	- Check Gutters and Downpipes are unblocked	3	hr	£ 60	£ -	£ 180	£ -	£ -
	- Flush above ground drainage system through extra for remedial works	1	sum	£ 200	£ -	£ 200	£ -	£ -
		1	sum	£ 500	£ -	£ 500	£ -	£ -
5	Work to external stair							
	- Crack repairs using hydraulic lime mortar	3	m2	£ 150	£ -	£ 450	£ -	£ -
	- Redecoration (keim paint)	18	m2	£ 50	£ -	£ -	£ 900	£ -
6	Repainting of zinc window (W.02)							
	- preparation	1	nr	£ 250	£ -	£ 250	£ -	£ -
	- repainting to manufacturers recommendation	1	nr	£ 650	£ -	£ 650	£ -	£ -
7	Repainting of external doors (3nr)							
	- preparation	12	m2	£ 5	£ -	£ 60	£ -	£ -
	- repainting to manufacturers recommendation	12	m2	£ 25	£ -	£ 300	£ -	£ -

External Elevation - South

1	Defective solum vent to be replaced	1	sum	£ 450	£ 450	£ -	£ -	£ -
2	Repointing between masonry and windows	1	sum	£ 150	£ -	£ 150	£ -	£ -
3	Replacement of broken panes (W05) by specialist	1	sum	£ 350.00	£ -	£ 350	£ -	£ -
4	Gap between the window frame and the stone surround. Any gaps to be repointed, allow for any removal of cement mortar as part of window repair	1	sum	£ 150.00	£ -	£ 150	£ -	£ -
5	Repointing between masonry and windows	1	sum	£ 150.00	£ -	£ 150	£ -	£ -
6	Repainting of zinc window - 2nr							
	- preparation	2	nr	£ 250	£ -	£ 500	£ -	£ -
	- repainting to manufacturers recommendation	2	nr	£ 650	£ -	£ 1,300	£ -	£ -
7	Repainting of external doors (1nr)							
	- preparation	4	m2	£ 5	£ -	£ 20	£ -	£ -
	- repainting to manufacturers recommendation	4	m2	£ 25	£ -	£ 100	£ -	£ -
8	Redecoration							
	- prepare existing surfaces	58	m2	£ 10	£ -	£ -	£ 580	£ -
	- apply keim paint to manufacturers recommendation	58	m2	£ 50	£ -	£ -	£ 2,900	£ -

External Elevation - East

1	Redecoration							
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St Andrews Church, Tongue		QTY	UNIT	RATE	Immediate	Urgent	Necessary	Desirable				
- prepare existing surfaces	77	m2	£ 10	£	- £	- £	770	£ -				
- apply keim paint to manufacturers recommendation	77	m2	£ 50	£	- £	- £	3,850	£ -				
2 Defective solum vent to be replaced	1	sum	£ 450.00	£	- £	450	£	- £				
3 Work to Rainwater Pipes												
- Investigation works (excavation) to locate UGD	1	sum	£ 350	£	- £	350	£	- £				
- Gutters and Downpipes unblocked	3	hr	£ 60	£	- £	180	£	- £				
- Flush above ground drainage system through	1	sum	£ 200	£	- £	200	£	- £				
extra for remedial works	1	sum	£ 500	£	- £	500	£	- £				
4 There is cementitious render around the reveals to W.03 and W.04. further investigation to determine whether it can be removed without damaging existing stone works	2	hrs	£ 60.00	£	- £	120	£	- £				
5 Repainting of zinc window - 2nr												
- preparation	2	nr	£ 250	£	- £	500	£	- £				
- repainting to manufacturers recommendation	2	nr	£ 650	£	- £	1,300	£	- £				
- extra for adjusting and easing openable vent	1	sum	£ 150	£	- £	150	£	- £				
External Elevation - North												
1 Work to Rainwater Pipes												
- Investigation works (excavation) to locate UGD	1	sum	£ 350	£	- £	350	£	- £				
- Gutters and Downpipes unblocked	3	hr	£ 60	£	- £	180	£	- £				
- Flush above ground drainage system through	1	sum	£ 200	£	- £	200	£	- £				
extra for remedial works	1	sum	£ 500	£	- £	500	£	- £				
2 Redecoration												
- prepare existing surfaces	58	m2	£ 10	£	- £	- £	580	£ -				
- apply keim paint to manufacturers recommendation	58	m2	£ 50	£	- £	- £	2,900	£ -				
3 Work to external stair												
- Crack repairs using hydraulic lime mortar					included elsewhere							
- Redecoration					included elsewhere							
4 Replacement of broken panes (W02) by specialist	1	sum	£ 350.00	£	- £	350	£	- £				
5 Repainting of zinc window - 2nr												
- preparation	2	nr	£ 250	£	- £	500	£	- £				
- repainting to manufacturers recommendation	2	nr	£ 650	£	- £	1,300	£	- £				
6 Staining from ferrous metal fixings. Recommended that all drive-in gutter brackets are replaced with sarking brackets												
- Removal of drive-in brackets + repair	25	nr	£ 55.00	£	- £	1,375	£	- £				
- removal of gutters	10	m	£ 5.00	£	- £	50	£	- £				
- removal of slate	4	m2	£ 35.00	£	- £	140	£	- £				
- installation of sarking bracket	25	nr	£ 30.00	£	- £	750	£	- £				
- extra for sarking repair	4	m2	£ 35.00	£	- £	140	£	- £				
- reslate	4	m2	£ 75.00	£	- £	300	£	- £				
eo for sourced reclaimed slate	1	sum	£ 500.00	£	- £	500	£	- £				
- refit gutter to falls	10	m	£ 25.00	£	- £	250	£	- £				
					£	570	£	18,695	£	17,100	£	-
To Summary					£	500	£	18,750	£	17,000	£	-

St Andrews Church, Tongue		QTY	UNIT	RATE	Immediate	Urgent	Necessary	Desirable
Refer to GRAS Condition Survey								
Wider Exterior & Landscaping								
1	Manhole cover is new and should be checked. Cover is raised and should be lowered to suit surrounding ground level or ground level raised as it is a trip hazard (Priced on the basis ground level raised)	1	sum	£ 750	£ -	£ 750	£ -	£ -
2	There are gaps around edges of cover providing space for leaves or debris to enter, solution to be determined	1	sum	£ 200	£ -	£ 200	£ -	£ -
<u>Additional items</u>								
-	Underground Drainage testing	1	sum	£ 1,200	£ -	£ 1,200	£ -	£ -
-	Repairs to UGD system (PROVISIONAL)	1	sum	£ 5,000	£ -	£ 5,000	£ -	£ -
					£	£ 7,150	£	£
To Summary					£ -	£ 7,250	£ -	£ -

St Andrews Church, Tongue	QTY	UNIT	RATE	Immediate	Urgent	Necessary	Desirable
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Refer to GRAS Condition Survey

Internal: Nave

1	Assess plaster dampness and replace with lath and plaster if required								
-	Investigation work	1	hr	£ 60	£	-	£ 60	£	-
-	Removal of damp plaster and lath (PROVISIONAL)	4	m2	£ 20	£	-	£ 80	£	-
-	Replacement of lath and plaster (PROVISIONAL)	4	m2	£ 160	£	-	£ 640	£	-
-	redecorating	4	m2	£ 25	£	-	£ 100	£	-
2	Redecoration around memorial area (post resolution of water ingress)								
-	redecorating	5	m2	£ 25	£	-	£ 125	£	-
3	Replacement of plasterboard with lath and plaster	5	m2	£ 160	£	-	£ 800	£	-

Internal: Nave Roof Space

1	Evidence of insects gathering in between the sarking and the rafters. Access to the roof space was limited at the time of inspection making identification difficult. It is expected that these are likely cluster flies that often shelter in roof spaces in autumn. there are limited solutions to prevent this								
-	insect specialist to remove	1	sum	£ 800	£	-	£ 800	£	-
2	Evidence of damp staining on the stone work on the west gable, this requires urgent inspection	3	hrs	£ 60	£	-	£ 180	£	-
3	Roof space works								
-	Insulating roof space	90	m2	£ 75	£	-	£ -	£ -	£ 6,750

Internal: Parish Hall

1	Full refurbishment and demolition asbestos survey (tiles under carpet are suspicious)	1	sum	£ 4,000	£	-	£ -	£ 4,000	£ -
2	Remove and lay aside areas of plaster ceiling which have debonded and are currently lying on the suspended ceiling	3	hr	£ 60.00	£	-	£ 180	£ -	£ -

Internal: Vestry

1	Remove and lay aside areas of plaster ceiling which have debonded and are currently lying on the suspended ceiling (original ceiling replacement not included)	3	hr	£ 60.00	£	-	£ 180	£ -	£ -
2	Repair crack in window pane W.05								included in external walls section

Internal: WC

1	Works to WC floor								
-	Investigate leak	2	hrs	£ 60.00	£	120	£	-	£ -
-	take up and remove floorboards	2	m2	£ 25.00	£	50	£	-	£ -
-	drainage repairs	1	sum	£ 500.00	£	500	£	-	£ -
-	joist repairs	1	sum	£ 750.00	£	750	£	-	£ -
-	Replacement of floorboards	2	m2	£ 150.00	£	300	£	-	£ -
-	New skirtings	5	m	£ 15.00	£	75	£	-	£ -
-	new ventilation	1	sum	£ 1,500.00	£	1,500	£	-	£ -
2	Work to Fanlight								
-	Broken pane to be replaced	1	sum	£ 300.00	£	-	£ -	£ 300.00	£ -

	£	3,295	£	1,400	£	6,045	£	6,750
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	£	3,250	£	1,500	£	6,000	£	6,750
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St Andrews Church, Tongue	QTY	UNIT	RATE	Immediate	Urgent	Necessary	Desirable
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Refer to GRAS Condition Survey

Internal: Nave

1 Electrical testing	1	sum	£ 500	£ -	£ 500	£ -	£ -
2 Fire protection inspection to be carried out by specialist	1	sum	£ 1,100	£ -	£ -	£ -	£ 1,100
				£ -	£ 500	£ -	£ 1,100
To Summary				£ -	£ 500	£ -	£ 1,000

7. Conclusion

Recommendations

The programme of repair works in this report are required to bring this A-listed church into a good condition and secure the future of this building for the local community. The repairs should be carried out by suitably accredited professionals and contractors with the necessary skills and experience to work on the conservation of historic buildings.

Additional Surveys

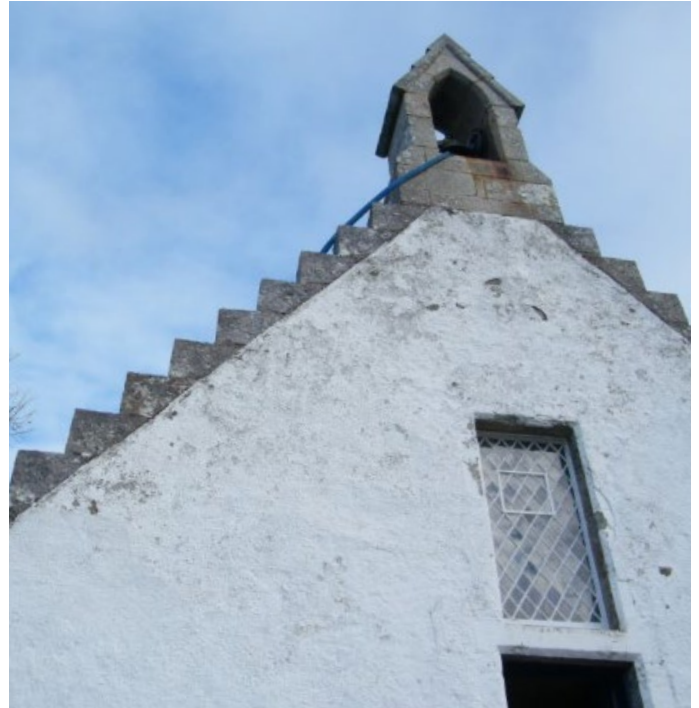
If further works are proposed, there are additional surveys that may be required. This could include asbestos and ecology surveys as well as lime and stone analysis. It is likely that a bat survey will be required prior to any roof repairs. A licensed bat specialist should be consulted to advise on the timing of the survey.

Accessibility

We would recommend that a comprehensive access audit is carried out to evaluate the accessibility of the existing building and the surrounding grounds for all users. An access strategy should be agreed as part of any future options appraisals. GRAS are able to provide this service with a dedicated Accessibility Specialist.

Statutory Consents

The requirement for Planning and Building Warrant consent will depend on the scope of works to be carried out. Once the scope of any works has been confirmed, the relevant local authority department should be engaged to confirm the position of statutory consents.



East Elevation



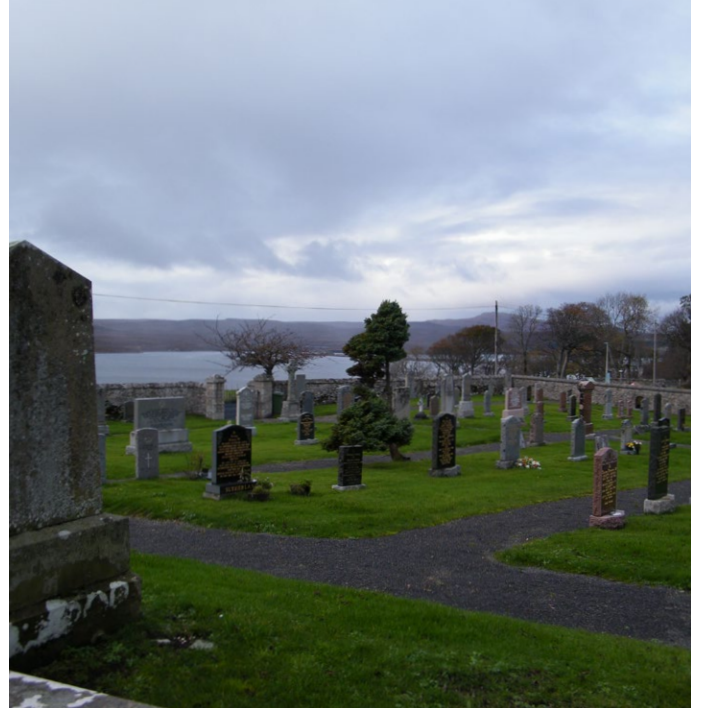
View to Caisteal Bharraich

Appendices

Additional Photos



View looking South across to St. Andrew's Church



View looking North-West towards the Kyle of Tongue



View looking South-West towards Ben Loyal



View across the culvert to the East of the church

Inspection Report

Additional Photos



Double gates to the car park



Double gates providing access to the West



Pedestrian access to Lundies Manse and Steading



Additional burial ground to the East of the church

Inspection Report

Additional Photos



West Elevation



South Elevation



East Elevation



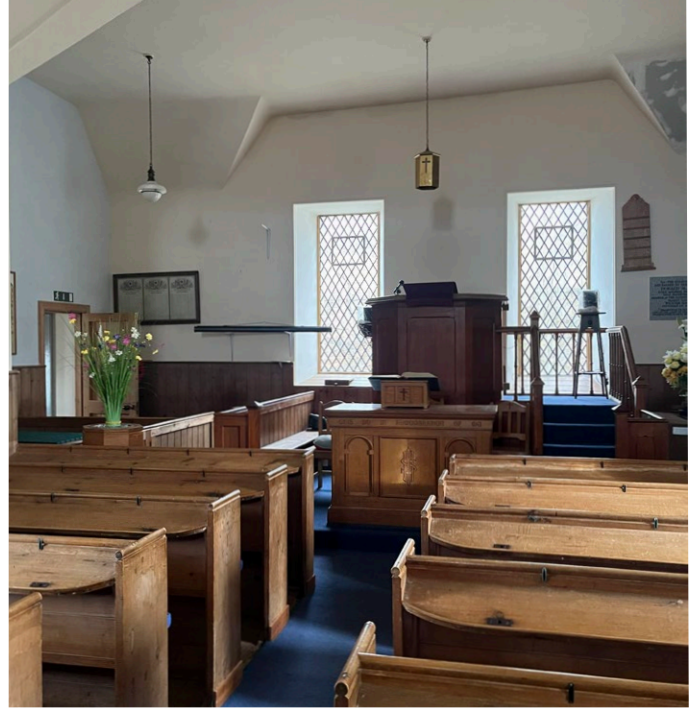
North Elevation

Inspection Report

Additional Photos



Access to the Laird's Loft



View across the Nave looking East



View towards the Parish Hall entrance



View looking West to the Laird's Loft

Inspection Report

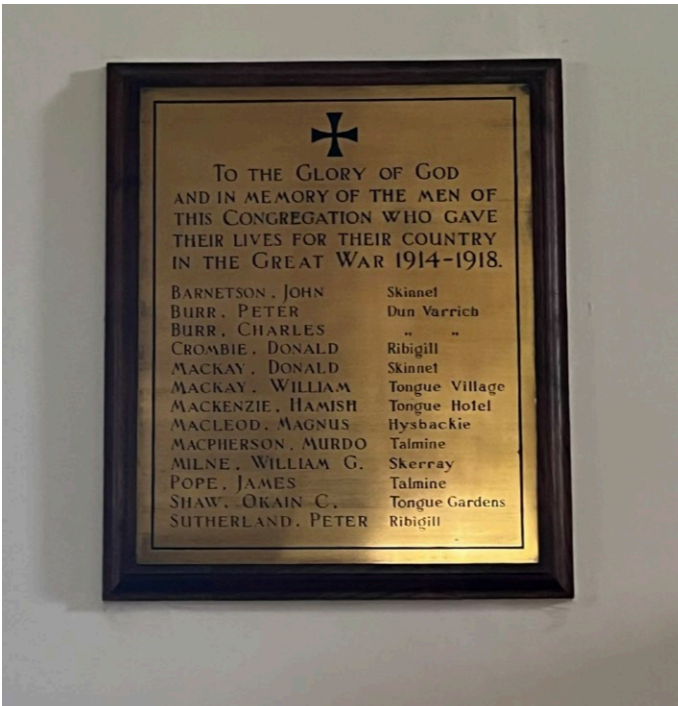
Additional Photos



Memorial plaques on the former Reay family loft



Memorial to the members of the Mackay family buried in the vault beneath the church



Memorial to those who gave their lives in World War I



Memorial to Major Ian Hamilton Mackay Scobie

Inspection Report

Additional Photos



Historic photograph of the Reay family loft



The Reay loft at the National Museum of Scotland



The Reay loft at the National Museum of Scotland



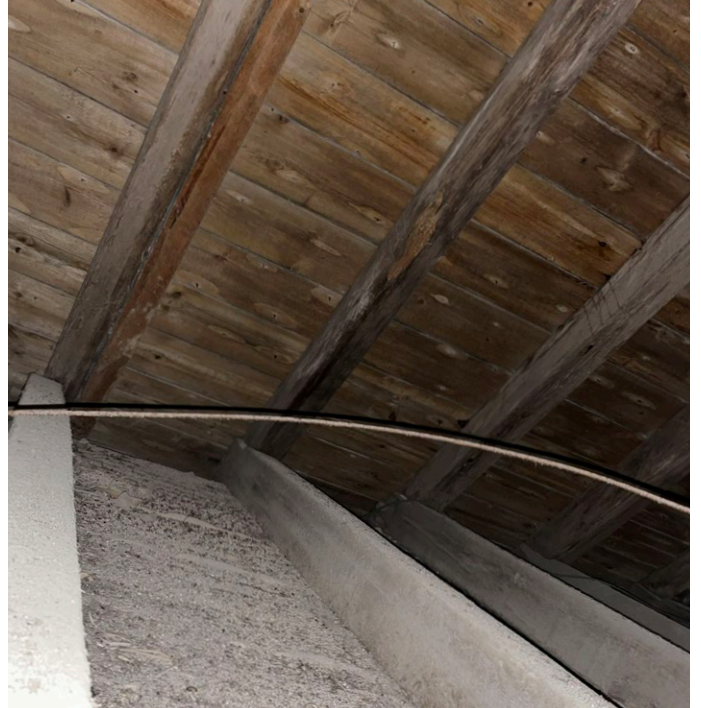
The Reay loft at the National Museum of Scotland

Inspection Report

Additional Photos



View up to the ridge in the attic above the Nave



View North in the attic above the Nave



View East in the attic above the Nave



View West towards the West gable

Inspection Report

Additional Photos



Solum below the Nave



Open solum vent in the external wall (04.09.2025)



Solum, floorboards and joists appear dry



Solum vent blocked with steel mesh to prevent rodent access (28.10.2025)

Inspection Report

Additional Photos



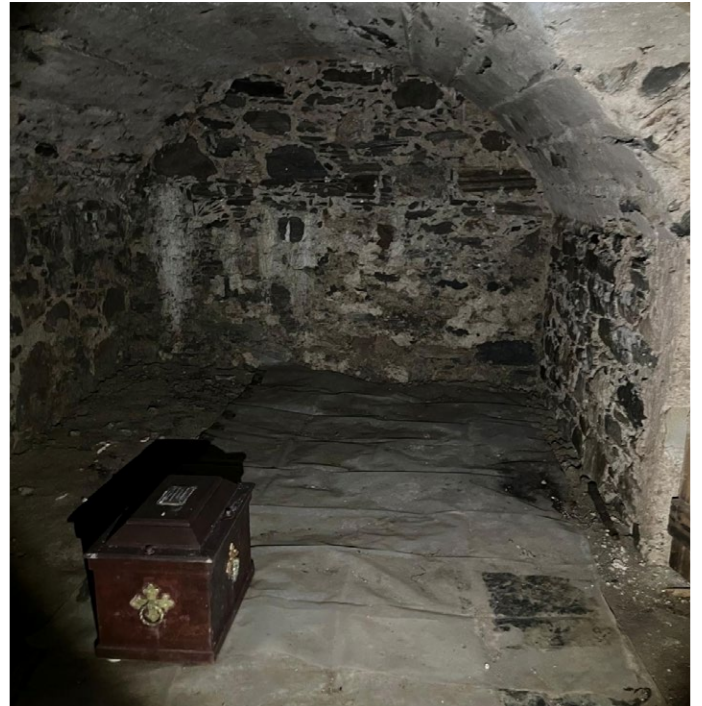
Entrance door to the burial vault as viewed from the Nave



Entrance door as viewed from the burial vault



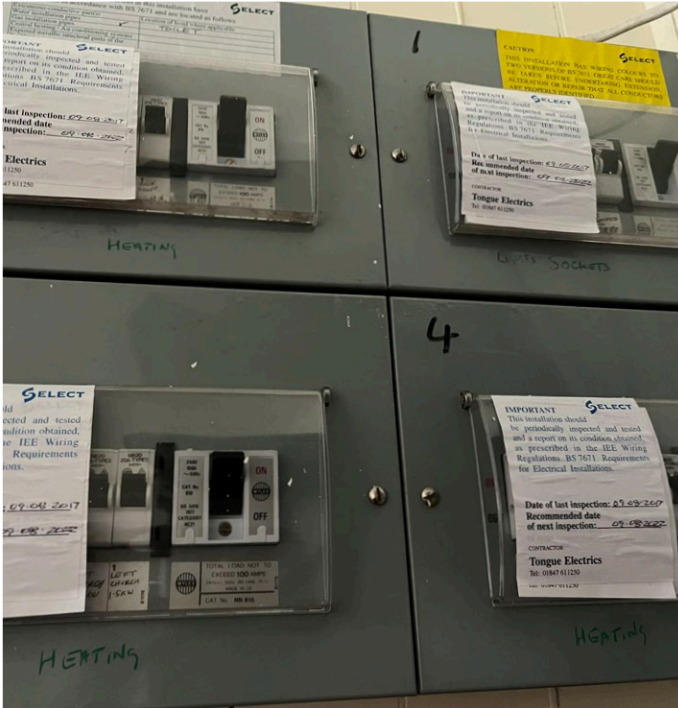
View of burial vault



View of burial vault

Inspection Report

Additional Photos



Consumer unit in the Vestry



Thermostat for the heating in the Vestry



Override switch for the heating in the Vestry



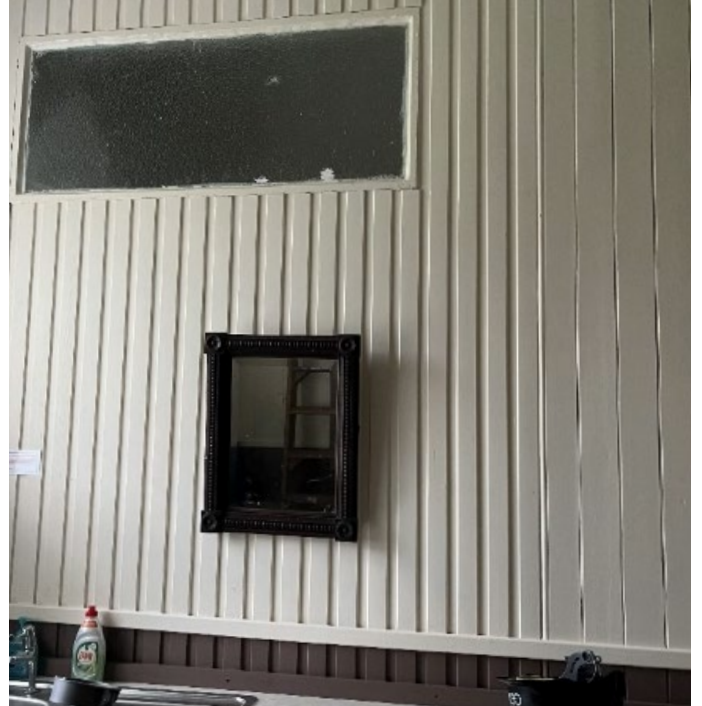
Electric heaters below the pews in the Nave

Inspection Report

Additional Photos



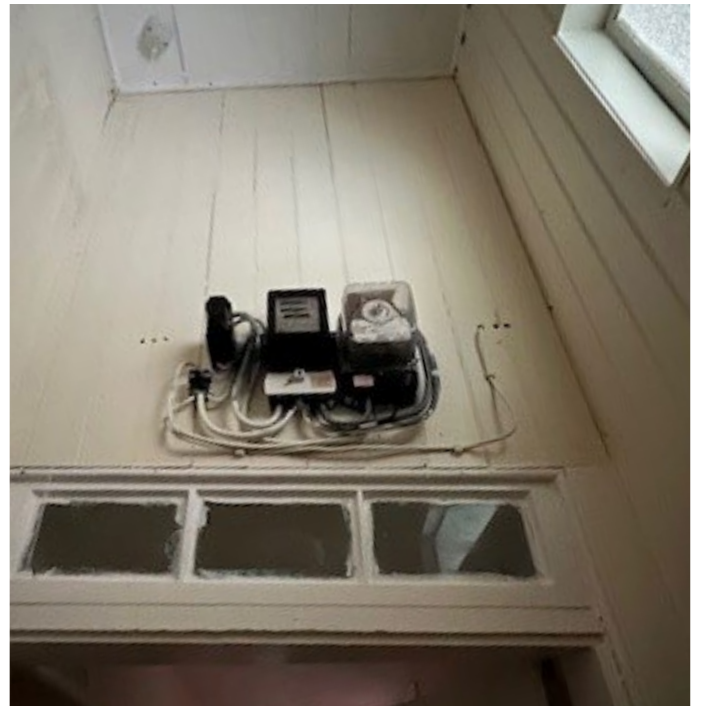
A section of the 14th century wall framed in the Vestry



Timber panelling and internal window in the Vestry



WC with WHB and WC



Fanlight and electrics over the WC door

Inspection Report

Additional Photos



Subfloor below the Vestry



Subfloor below the WC



Foul drainage below the WC



Subfloor below the WC

Inspection Report

Additional Photos



Attic space over the corridor looking North



Attic space over the corridor looking North



Attic space over the corridor looking South



Attic space over the corridor looking North

Inspection Report

Additional Photos



Parish Hall looking South into the Nave



Parish Hall looking North



External door into the Parish Hall



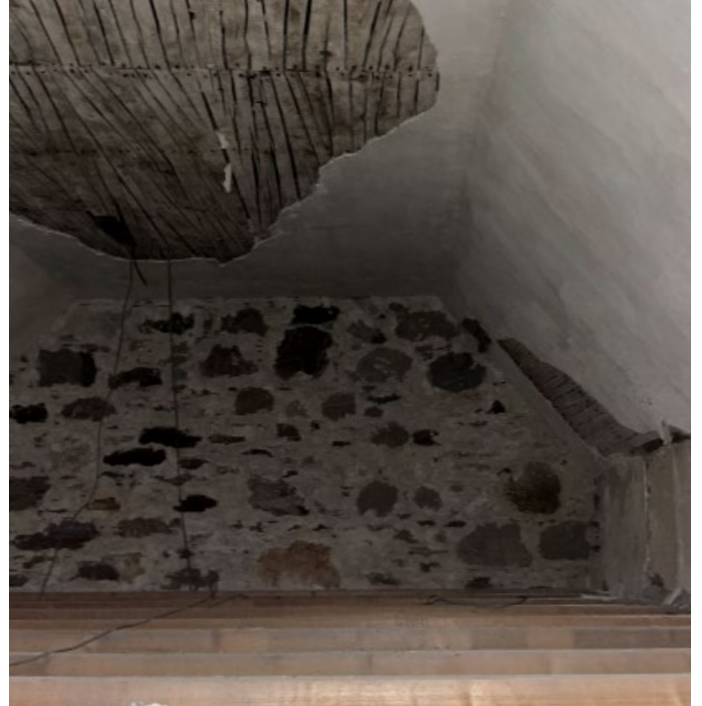
Parish Hall floor

Inspection Report

Additional Photos



North gable within the Parish Hall attic space



Original lath and plaster ceiling above the newer suspended ceiling of the Parish Hall



North gable within the Parish Hall attic space



Original lath and plaster ceiling above the newer suspended ceiling of the Parish Hall